

<b>PROJECT INFORMATION</b>	
LANDLORD:	KEVIN BRANGERS – KAIROS DEVELOPMENT CORP. 770.521.4443
TENANT:	BunMi Armore In. 2300 Wayside Dr. Atlanta GA 30319 770.361.4778
PROFESSIONAL ENGINEER:	H. LEROY LARK – ACCURATE ENGINEERING 404.218.1504 9303 Fairington Ridge Circle, Lithonia GA 30038
24HR CONTACT:	JOSE DE LA ROSA 404.422.7472
JURISDICTION:	CITY OF ATLANTA – PLANNING DEPARTMENT 55 Trinity Avenue 3rd Floor – Suite 3900 Atlanta, GA 30303

<b>AREA SUMMARY</b>	
RESTROOMS	45.83
KITCHEN	539
DINING	537
<b>TOTAL</b>	<b>1,121.83</b>

**CODES AND ORDINANCES**

THE GEORGIA STATE MINIMUM STANDARD CODES:  
 International Building Code, 2012 Edition, with Georgia Amendments (2014)(2015)  
 International Residential Code, 2012 Edition, with Georgia Amendments (2014)(2015)  
 International Fire Code, 2012 Edition, with Georgia Amendments (2014)  
 International Plumbing Code, 2012 Edition, with Georgia Amendments (2014)(2015)  
 International Mechanical Code, 2012 Edition, with Georgia Amendments (2015)  
 International Fuel Gas Code, 2012 Edition, with Georgia Amendments (2014)(2015)  
 National Electrical Code, 2014 Edition, with no Georgia Amendments  
 International Energy Code, 2009 Edition, with Georgia Supplements and Amendments (2011)(2012)  
 2012 NFPA 101 – Life Safety Code with State Amendments (2013)

**FIRE PREVENTION:**

THE CURRENT EDITION OF THE NFPA CODES AND STANDARDS AS ADOPTED AND MODIFIED BY THE STATE FIRE MARSHAL:  
 -NFPA 96, VENTILATION CONTROL AND FIRE PROTECTION OF COMMERCIAL COOKING OPERATIONS, 2011 EDITION.  
 -INTERNATIONAL FIRE CODE 2012 EDITION  
 -2012 LIFE SAFETY CODE; NFPA 101  
 -O.C.G.A TITLE 25 (STATE FIRE LAW)  
 -GA ACCESSIBILITY CODE (GAC 120-3-20), 2010 EDITION \* AS MODIFIED BY THE STATE OF GEORGIA GSFC OR GDCA.  
 -ADA STANDARDS FOR ACCESSIBLE DESIGN, 2010 EDITION.  
 -INTERNATIONAL ENERGY CONSERVATION CODE, 2009 EDITION WITH 2011&2012 GEORGIA STATE AMENDMENTS

**GENERAL PROJECT NOTES**

- DO NOT SCALE DRAWINGS—USE DIMENSIONS ONLY. FOR DIMENSIONS NOT SHOWN OR IN QUESTION, CONTRACTOR SHALL REQUEST CLARIFICATION FROM ARCHITECT BEFORE PROCEEDING.
- UNLESS OTHERWISE NOTED, INTERIOR PARTITION DIMENSIONS ARE GIVEN FACE TO BETWEEN METAL STUDS/CMU TO COLUMN CENTER LINE.THE EXCEPTION IS MILLWORK DETAILS WHERE DIMENSIONS ARE FROM FACE OF FINISH SURFACE(GWB, PLASTER, ETC).
- ELEVATIONS AND LEVELS ARE SHOWN TO TOP OF FINISHED HARD SURFACES(CONCRETE FLOOR SLAB), EXCLUSIVE OF APPLIED FINISHED (CARPET,CVT,OTHER THINSET FINISH MATERIALS).
- CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, CONDITIONS, AND EQUIPMENT LOCATIONS IN THE FIELD. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
- ELECTRIC PANELS, ALARM BOXES, FIRE EQUIPMENTS CABINETS AND OTHER RECESSED BOXES GRATER THEN 16 SQUARE INCHES THAT ARE LOCATED IN RATED WALLS SHALL BE BACKED BY GYPSUM WALLBOARD LAYERS SUFFICIENT TO MAINTAIN THE DESIGNATED TO RATING.
- ALL VERTICAL PIPING EXPOSED IN ROOMS SHALL BE FURRED AND FINISHED TO MATCH ADJACENT WALL. EXCEPTIONS ARE MECHANICAL ELEVATOR EQUIPMENTS ROOMS, ELECTRIC AND TELEPHONE CLOSETS.
- CEILING AND ACCESS PANELS SHALL BE PROVIDED IN NON-ACCESSIBLE CEILINGS, INCLUDING BUT NOT LIMITED TO: BELOW THE FOLLOWING MECHANICAL AND PLUMBING DEVICES.
  - VALVES
  - FLOW MEASURING DEVICES
  - MIXING BOXES/AHU'S
  - POWER OPERATED DAMPERS
  - ACCESS PANELS IN DUCTWORK
  - VOLUME AND BALANCING DEVICES
  - WATER FLOW SWITCHES
  - PRESSURE SWITCHES
- ALL EXISTING WORK, FURNISHINGS, EQUIPMENT OR MATERIAL TO REMAIN THAT ARE DAMAGED BY CONTRACTOR'S OPERATION UNDER THIS CONTRACT SHALL BE REPLACED OR REPAIRED TO THE SATISFACTION OF THE ARCHITECT/ENGINEER, AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR SHALL CONSULT LOCAL BUILDING OFFICIALS AND NOTIFY THEM OF ANY CHANGING CONDITION AS REQUIRED. CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER OF RECORD IF ANY DEVIATION OR MODIFICATION IS REQUIRED DUE TO UNFORESEEN CONDITIONS.

10. ALL WORK SHALL CONFORM TO APPLICABLE INDUSTRY AND MANUFACTURER'S PUBLISHED STANDARDS FROM QUALITY OF MATERIALS AND WORKMANSHIP, AS WELL AS ALL REQUIREMENTS IN THESE DRAWINGS AND SPECIFICATIONS. ANY CONFLICTING REQUIREMENTS OF THE SOURCES LISTED ABOVE SHALL BE BROUGHT TO ARCHITECT/ENGINEER BEFORE PROCEEDING WITH WORK.

11. CONTRACTOR SHALL PROTECT EXISTING WORK AND OTHER NEW WORK BY OTHER CONTRACTORS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES TO EXISTING WORK INCURRED WHILE FULFILLING OBLIGATIONS OF THIS CONTRACT.

12. (GRAB BARS): 36" MINIMUM BEHIND THE WATER CLOSET. 42" MINIMUM BESIDE THE WATER CLOSET TO BE INSTALLED PER THE REQUIREMENTS OF RULE 120-3-20-.37. GEORGIA ACCESSIBILITY CODE.

13. (PAPER DISPENSERS): SHALL BE INSTALLED PER THE REQUIREMENTS OF RULE 120-3-20-.27(6) WITH A MINIMUM OF 19" TO THE CENTER OF THE ROLL ABOVE THE FINISHED FLOOR. GEORGIA ACCESSIBILITY CODE.

14. (LAVATORIES) CLEAR FLOOR SPACE OF 30" WIDE X 48" DEEP WITH A MAXIMUM OF 29" UNDER THE LAVATORY SHALL BE PROVIDED. LEVER, PUSH OR ELECTRONIC FAUCETS SHALL BE USED. IF SELF-CLOSING VALVES ARE USED, THE WATER SHALL FLOW FOR A MINIMUM OF 10 SECONDS PER RULE 120-3-20-.30. GEORGIA ACCESSIBILITY CODE.

15. (MIRRORS) SHALL BE INSTALLED A MAXIMUM OF 40" ABOVE FINISHED FLOOR TO THE BOTTOM AND AT LEAST 74" TO THE TOP OF THE FRAME PER RULE 120-3-20-.30(6). GEORGIA ACCESSIBILITY CODE.

16. (STANDPIPE SYSTEM): TO BE PROVIDED IN ACCORDANCE WITH THE FIRE PROTECTION AND LIFE SAFETY ORDINANCE, INTERNATIONAL BUILDING CODE, 2015 EDITION, INTERNATIONAL FIRE CODE, 2015 EDITION AND NFPA, 2015 EDITION.

17. (AUDIBLE/VISUAL) SIGNAL APPLIANCES COMPLYING WITH THE REQUIREMENTS OF RULE 120-3-20-.39 GEORGIA ACCESSIBILITY CODE AND NFPA 72, 2015 EDITION SHALL BE PROVIDED.

**BUILDING OCCUPANCY LOAD**

RESTROOMS	SIZE (SF)	CALCULATIONS	No. PERSONS
KITCHEN	539	100 GROSS	5
DINING (FIXING SEATING)	537		32
	1,121.83		37

TABLE OCCUPANT LOAD FACTOR 7.3.1.2 OF NFPA 101

**EGRESS REQUIREMENTS**

EGRESS CALCULATIONS FOR NEW ADDITION  
 REQUIRED WIDTH: 37 PERSONS X 0.15 =5" REQUIRED  
 (2) 3'-0" CLEARANCE DOOR

**CONSTRUCTION TYPE**

A2-ASSEMBLY  
 TYPE II-B  
 SPRINKLERED – YES

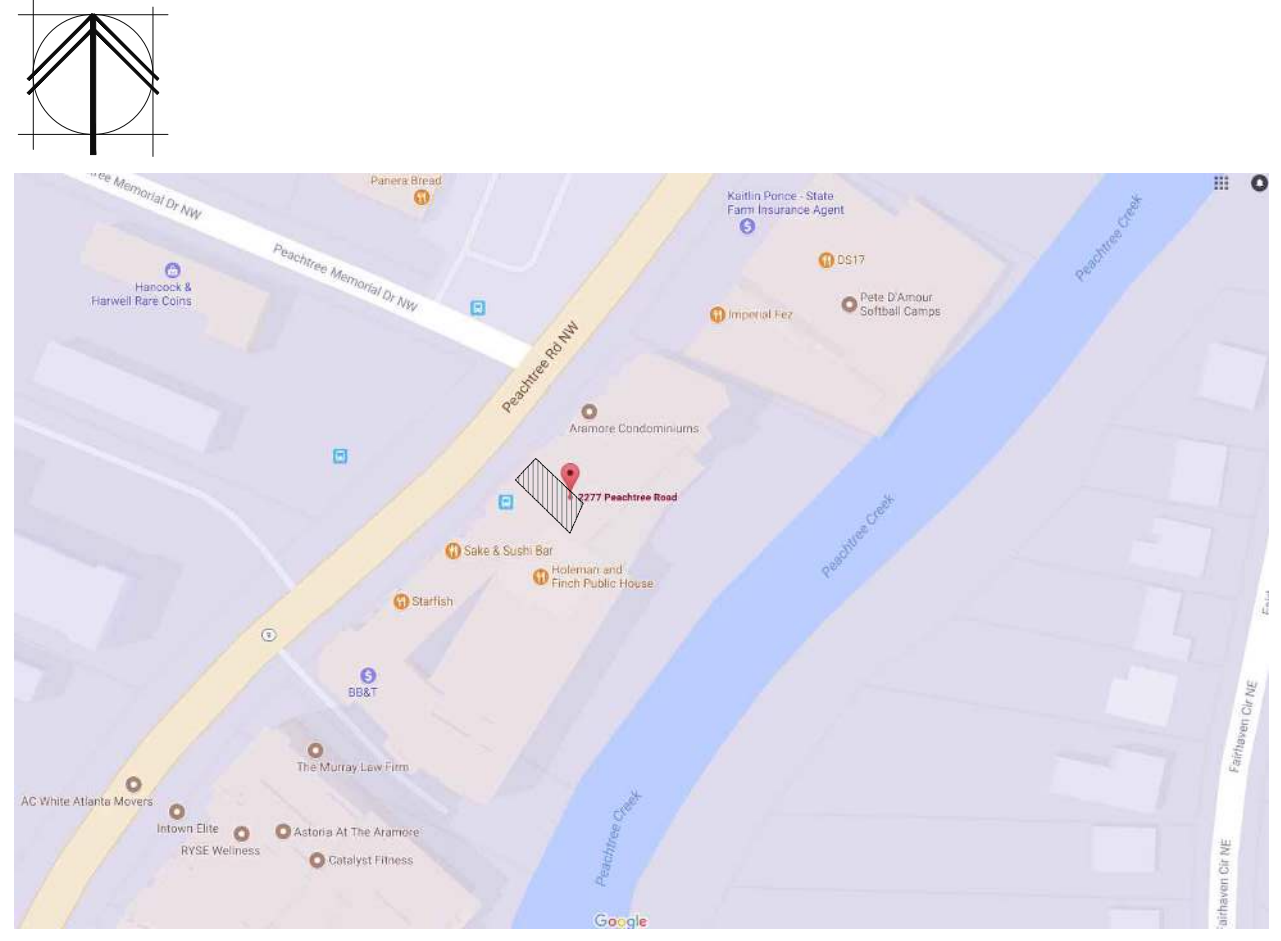
**PROJECT SCOPE**

THE PROJECT IS AN INTERIOR TENANT RENOVATION  
 -DINNING AREA RENOVATION  
 -INSTALL NEW EQUIPMENT  
 -DEMOLITION OF WALLS AND NEW WALLS IN KITCHEN AREA  
 -REPAIR CEILING TILES  
 -NEW SINK & PLUMBING WORK  
 -NO MECHANICAL WORK TO BE PERFORMED 2 EXISTING GAS UNITS (4TON AND 5TON)

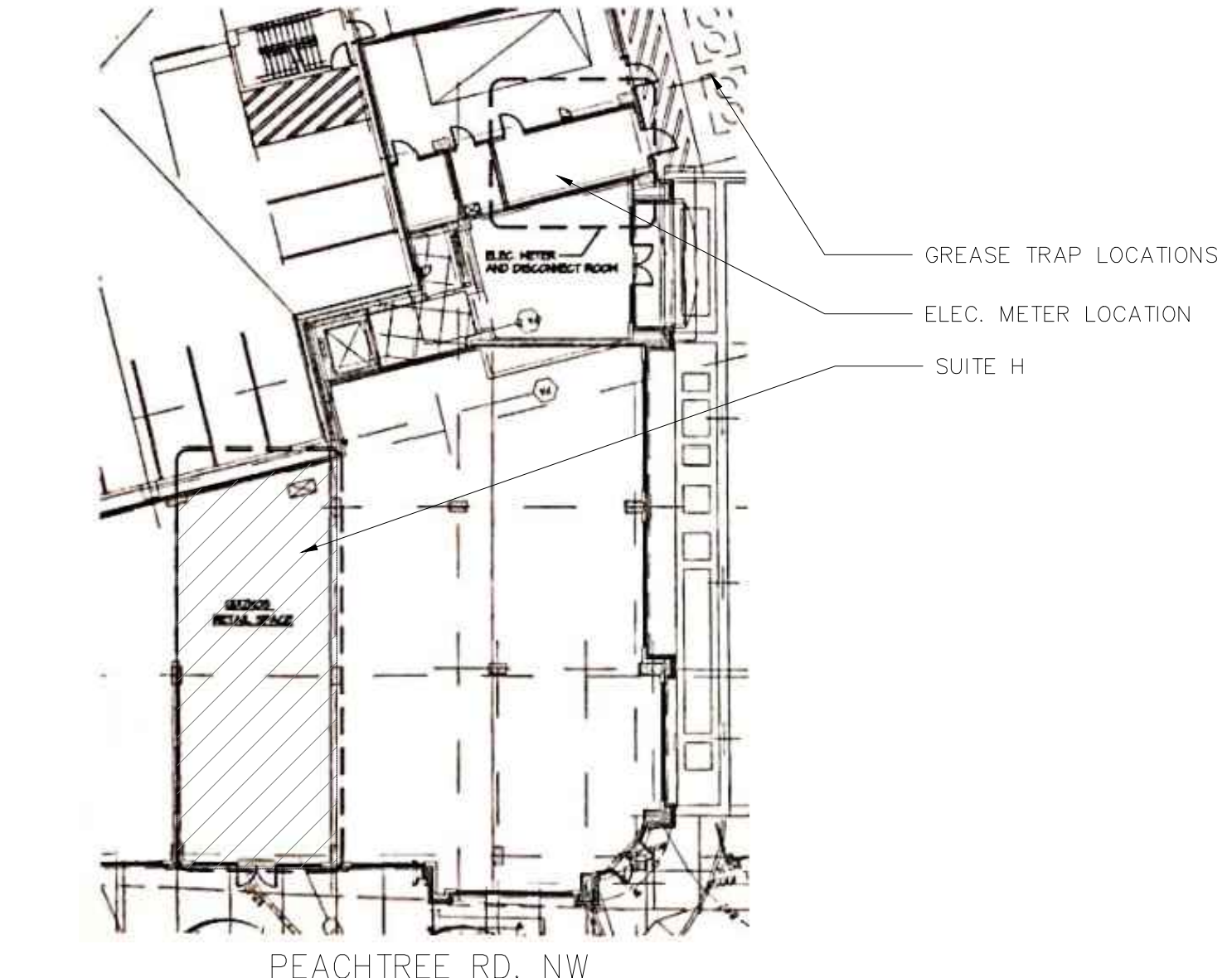
**DRAWING INDEX**

CS1.0 COVER SHEET	LS1.0 LIFE SAFETY PLAN
A1.0 EXISTING-DEMOLITION PLAN	A1.1 PROPOSED FLOOR PLAN AND EQUIPMENT
A2.0 REFLECTED CEILING PLAN	A2.1 SUPPORT DETAILS
M1.0 MECHANICAL PLAN	E1.0 ELECTRICAL PLAN
P1.0 PLUMBING PLAN	

**BunMi Vietnamese Grill RESTAURANT**  
 INTERIOR RENOVATION  
 2277 Peachtree Road NE  
 SUITE "H"  
 Atlanta GA 30309



AERIAL IMAGE  
 SCALE:NTS



KEY PLAN  
 SCALE:NTS

**ABBREVIATIONS**

A/C	air condition(ed)(ing)	CU	cubic	FIN	finish(ed)	LHR	left hand	PROP	property	THK	thick(ened)(ness)
ADJ	adhesive	CW	cold water	FLX	flexible	LL	locker	PSF	pounds per square foot	TI	titanium
ADU	adjustable	D	deep	FLSH	flushing	LNK	live load	PSI	pounds per square inch	TKBD	stockboard
AFF	above finished floor	DBL	double	FLR	floor	LP	low point	PT	point	TLT	toilet
AGGR	aggregate	DCT	diaper changing table	FLUR	fluorescent	LT	light	PTD (PTD-)	Paper towel dispenser	TMPD	tempered
AHR	anchor	DEG	degree	FO	finished opening	LTD	lighting	PIN	partition	TOPO	topography, topographic
AHU	air handling unit	DEM	demolition	FP	fire protection	LVL	level	PVC	polyvinyl chloride	TPD (TPD-)	toilet paper dispenser
ALT	alternate	DEPT	department	FRTW	fire retardant treated wood	LWC	lightweight concrete	PVG	paving	TRTD	treated
ALUM (ALUM-)	aluminum	DET	detail	FT	foot, feet	M	meter	QTY (QT-)	quantity	TS	tube steel
ANN	annunciator	DIA	diameter	FTG	finned tube radiation	MACH	machine	QTY	quantity	TV	television
ANOD	anodize(d)	DIAG	diagonal	FTR	furring	MAINT	maintenance	R	riser	TYP	typical
APPROX	approximate	DIFF	diffuser	FURG	furnish(ed), furniture	MAS	masonry	RB (RB-)	rubber base	U	heat transfer coefficient
ARCH	architect(ural), Architect	DISP	dispenser	FURN	field verify	MATL	material	RC	reinforced concrete	UGND	underground
ASPH	asphalt	DIV	division	FV	field verify	MAX	maximum	RCP	reflected ceiling plan	UL	Underwriter's Laboratories
AUTO	automatic	DL	dead load	GA	gauge	MCB	metal corner bead	RCPN	reception	UNEXC	unexcavated
B BD	baseboard	DN	down	GALV	galvanized	MDO	medium density overlay	RD	room drain	UNFIN	unfinished
B MK	bench mark	DR	dampproofing	GB (GB-)	grab bar	MECH	membrane	REC	recessed	UNO	unless noted otherwise
B/B	back to back	DS	downspout	GD	ground	MEZ	mezzanine	REF	reference	US	utility
BB (BB-)	bulletin board	DWG	drawing	GFRC	glass fiber reinforced conc.	MFR	manufacturer	REIN	reinforce, reinforcing	UTIL	utility
BD	board	DWV	drainage, waste and vent	GRFC	glass fiber reinforced gyp.	MH	manhole	REQD	required	V SHF	vinyl sheet
BTUM	biluminous	E	East	GL (GL-)	glued	MIN	minimum	RESIL	resilient	V (VB-)	vinyl base
BLDG	building	EA	east	GLU LAM	glued laminated wood	MIR	mirror	REV	revision	VCT (VCT-)	vinyl composition tile
BLKG	blocking	EFS	exterior insulation and finish system	GT	groove trap	MISC	miscellaneous	RFB	roofing	VENT	ventilation
BM	beam	EJ	expansion joint	GYP	gypsum	MULL	mullion	RH	right hand	VEST	vestibule
BO	bottom	EL	elevation	GYP PLAS	gypsum plaster	MO	mounted	RM	room	VIF	verify in field
BO/B	bottom of	ELAST	elastomeric	H	high	MTD	mounted	ROW	rough opening right-of-way	VOL	volume
BR (BR-)	brick	ELEC	electrical	HB	hose bibb	MTG	mounting	S	South	VT (VT-)	vinyl tile
BRG	bearing	HVAC	heating, ventilation and air conditioning	HCP	handicapped	MTL	metal	SAB	sound attenuation balts	VWC (VWC-)	vinyl wall covering
BRZ	bronze	HDRZ	horizontal	HDP	hardwired	MVBL	movable	SAN	sanitary	W	waste receptacle
BSMT	basement	HP	high point	HDP	hardwired	N	North	SC	solid core	W/	with
BSUR	built-up roofing	HR	hour	HWD	hardwood	NIC	not in contract	SCHED	schedule	W/O	without
CB	cabinet	HTG	height	HM	hollow metal	NO	number	SD (SD-)	soap dispenser	WC	water closet
CB	catch basin	HTH	hot water hydrant	HO	hold open	NOM	nominal	SECT	section	WD	wood
CCV	closed circuit television	HW	hot water	HOZ	horizontal	NTS	not to scale	SF	square foot (feet)	WF	wide flange
CEM	cement	HVD	hydrant	HP	high point	O	overall	SGL	single	WG (WG-)	wall guard
CG (CG-)	corner guard	HTG	heating	HR	hour	OA	on-center	SHR	shower	WH	water heater
CH (CH-)	coat hook	HTR	heater	HTG	height	OC	on-center	SHT	sheet	WI	wrought iron
CH	cast iron	HVAC	heating, ventilation and air conditioning	HTG	height	OD	outside diameter	SIM	similar	WIN	window
CIP	cast-in-place	HW	hot water	HW	hot water	OFD	overflow drain	ESH	emergency shower	WM	wire-mesh
CIRC	circulation control joint	HVD	hydrant	HW	hot water	OFF	office	SPEC	specification	WPF	waterproofing
CLG	centerline	HVD	hydrant	HW	hot water	OH	overhead	SPKR	speaker	WSC	wainscot
CLO	closet	HTG	heating	HW	hot water	OPH	opposite hand	SO	square	WT	weight
CLR	clear	HTR	heater	ID	inside diameter	OPNG	opening	SS	service sink	WVF	welded wire fabric
CM	concrete	HTR	heater	INC	inch(es)	OPR	opposite	SST	stainless steel	X	by
CMU	concrete masonry unit	HVD	hydrant	IN	incandescent	OPA	outside diameter	ST	station	YN	Zinc (not listed)
COL	column	HVD	hydrant	INCL	include(d), including	PA	public address	STA	standard	&	and
CONC	concrete	HVD	hydrant	INCL	include(d), including	PBD	particleboard	STD	standard	<	angle
CONF	conference	HVD	hydrant	INSUL (INSUL-)	insulation	PCC (PCC-)	precast concrete	STL	steel	@	at
CONN	connect(ion)	HVD	hydrant	INT	interior	PERP	perpendicular	STR	storage	€	centerline
CONSTR	construction	HVD	hydrant	INTERM	intermediate	PEGBD	pegboard	STRUC	structural	[	channel
CONTR	contractor	HVD	hydrant	INTV	intermediate	PL	plastic laminate	SUSP	suspended	]	double angle
COORD	coordinate	HVD	hydrant	JAN	janitor	PLAM	plastic laminate	SV (SV-)	sheet vinyl	∅	diameter
CORR	corridor	HVD	hydrant	JAN CLO	janitor's closet	PLAS	plaster	SYMM	symmetrical	#	number, pounds
CORT (CPT-)	carpet	HVD	hydrant	JD	joint	PLBG	plumbing	T	tread	R	plate
CSK	countersunk	HVD	hydrant	KT	knocked down	PLYWD	plywood	T&B	top & bottom	+/- (±)	plus or minus, approximately
CT (CT-)	ceramic tile	HVD	hydrant	KIT	kitchen	PNL	panel	T&G	top & groove	∩	square feet
CTR	center	HVD	hydrant	KO	knockout	PNT (PNT-)	point	T/D	towel dispenser/receptacle	∪	tube
		HVD	hydrant	L	long, length	PR	pair	TEL	telephone		
		HVD	hydrant	LAM	laminat(e)d	PREFAB	prefabricate(d)	TEMP	temporary		
		HVD	hydrant	LAU	laundry	PROJ	project	TER (TER-)	terrazzo		
		HVD	hydrant	LAV	lavatory	PROJ SCR	projection screen				
		HVD	hydrant	LB(S)	lavatory pound(s)						
		HVD	hydrant	LF	linear foot, (feet)						

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 Engineer: H. Leroy Lark  
 Professional Registered  
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 9303 Fairington Ridge Circle.  
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<b>SEAL</b>	
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<b>REVISIONS</b>	
No.	Description

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**BUNMI VIETNAMESE GRILL**  
 INTERIOR RENOVATION  
 THE ARAMORE, 2277 PEACHTREE ROAD  
 SUITE H  
 ATLANTA, GA 30305

DATE	11/29/2017
DRAWN:	JM
CHECKED:	
JOB NO.:	
TITLE	LIFE SAFETY PLAN
SHEET NUMBER	LS1.0

RELEASED FOR CONSTRUCTION



SEAL

REVISIONS

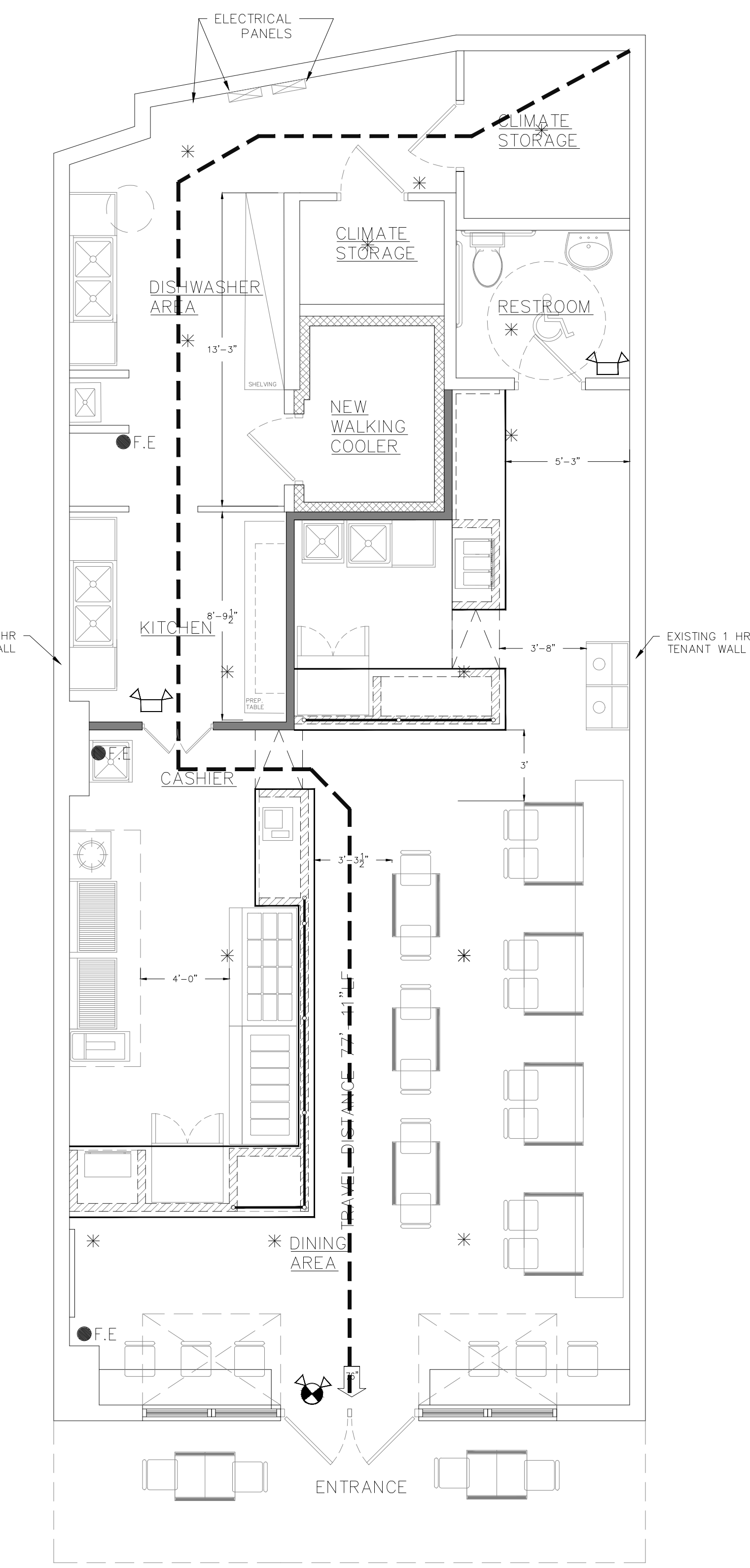
No.	Date	Description

**BUN MI**  
VIETNAMESE GRILL  
INTERIOR RENOVATION  
THE ARAMORE, 2277 PEACHTREE ROAD  
SUITE H  
ATLANTA, GA 30305

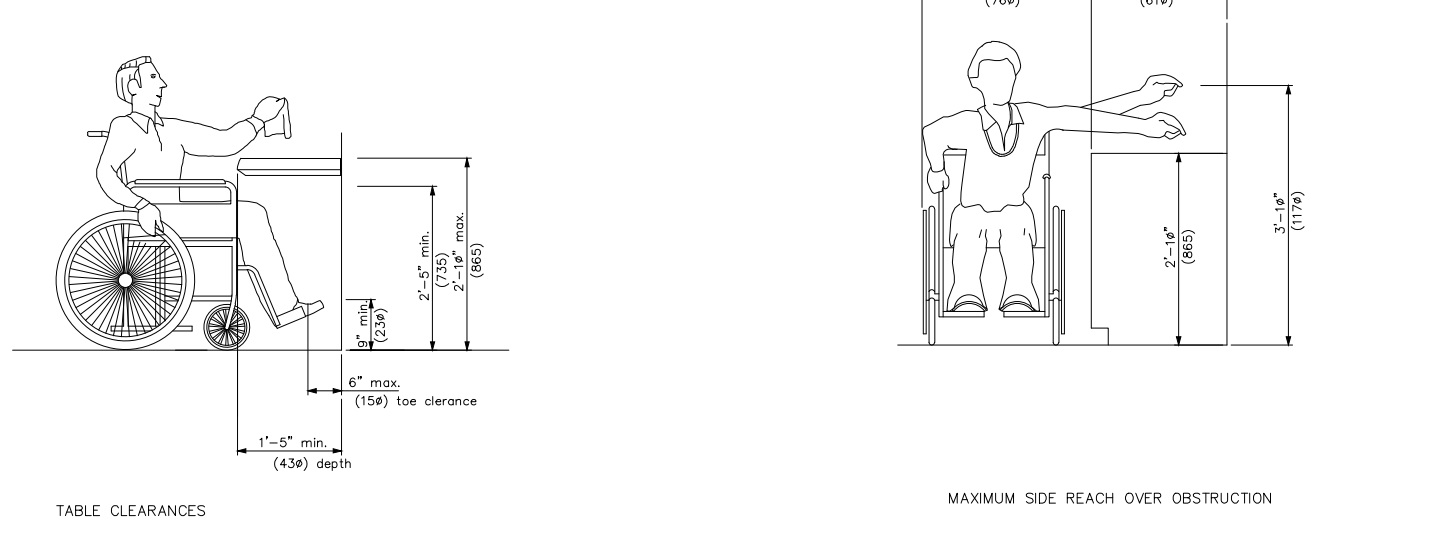
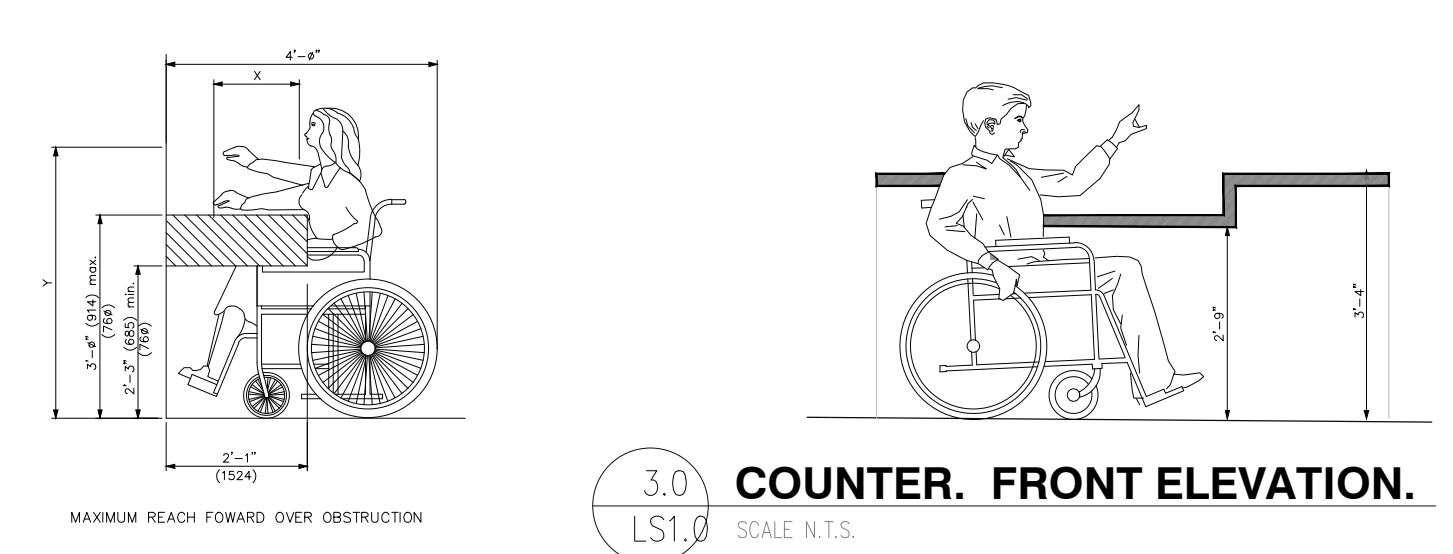
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TITLE  
LIFE SAFETY PLAN

SHEET NUMBER  
LS1.0



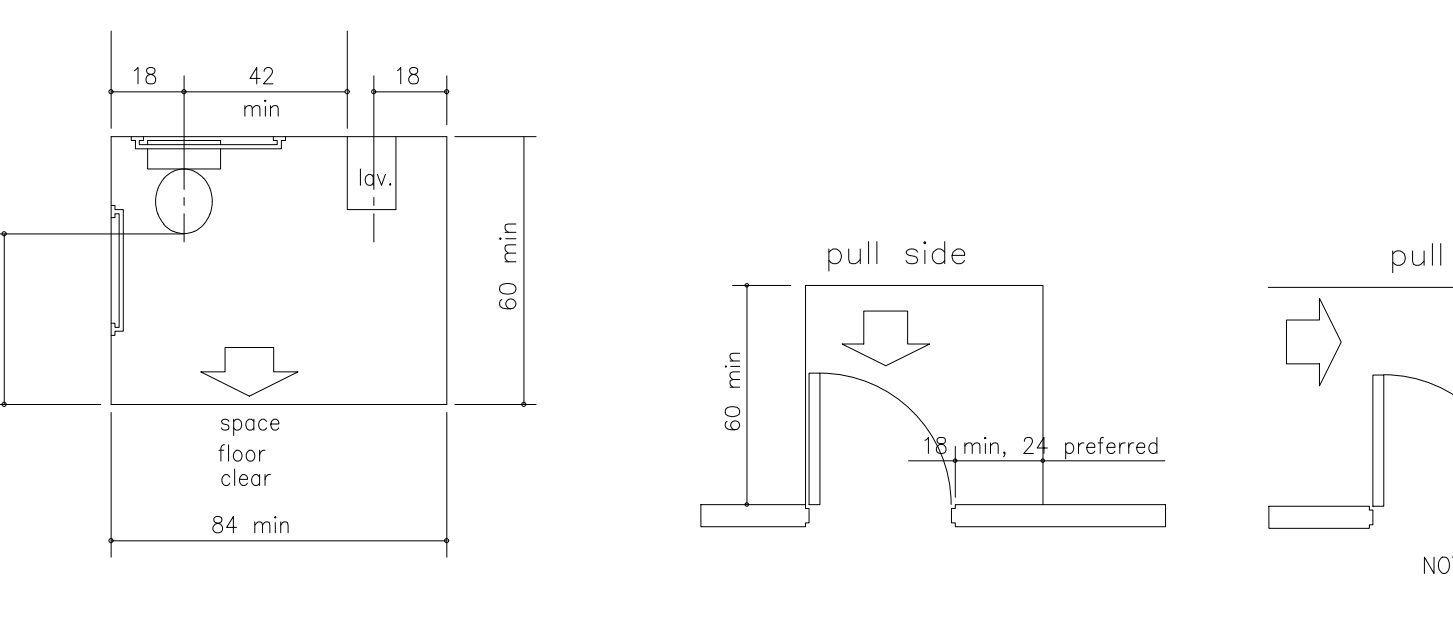
**1 LIFE SAFETY PLAN**  
SCALE: 1/4" = 1'-0"



**GENERAL LEGEND**

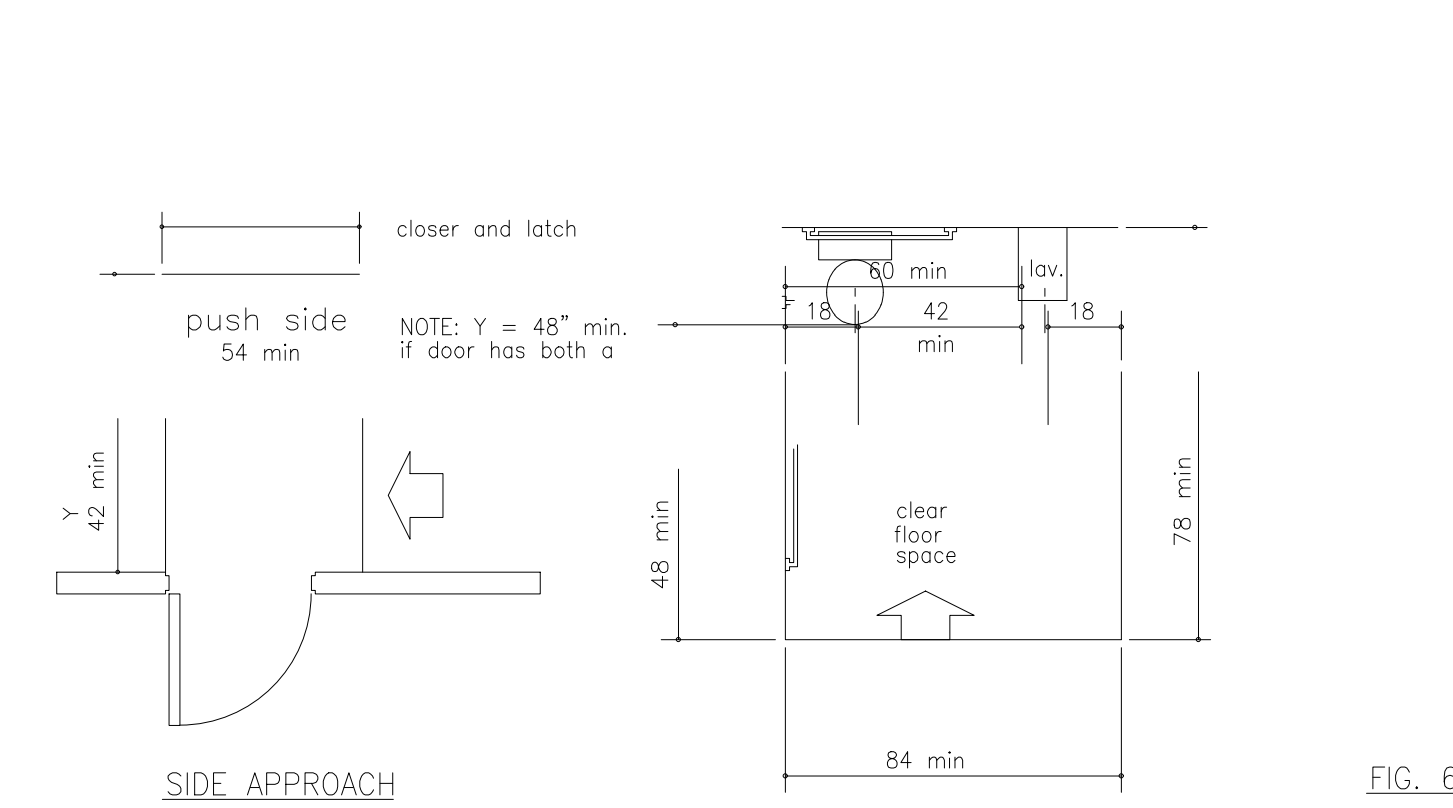
- DOOR
- SMOKE DETECTOR
- FIRE EXTINGUISHER 5# CAPACITY 2A-10BC UL RATING.
- EXIT SIGN & EMERGENCY LIGHT COMBO, BATTERY BACK-UP.
- EMERGENCY, BATTERY BACK-UP
- EXISTING FIRE SPRINKLER HEAD

**4.0 ADA REQUIREMENTS FOR COUNTERS AND TABLES**  
SCALE: N.T.S.

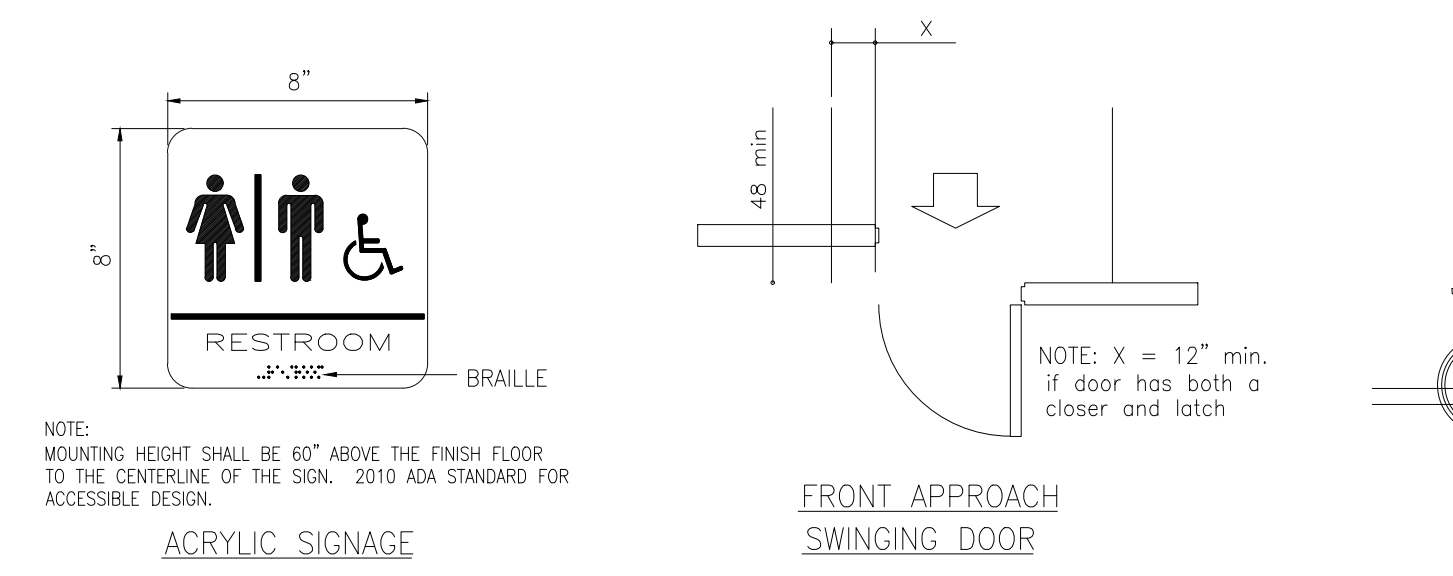


2012 STANDARD MINIMUM WIDTH OUT-SWINGING DOOR

**2 ADA REQUIREMENTS**  
SCALE: N.T.S.



2012 STANDARD MINIMUM WITH IN-SWINGING DOOR



ACRYLIC SIGNAGE

**4.0 ADA REQUIREMENTS FOR COUNTERS AND TABLES**  
SCALE: N.T.S.

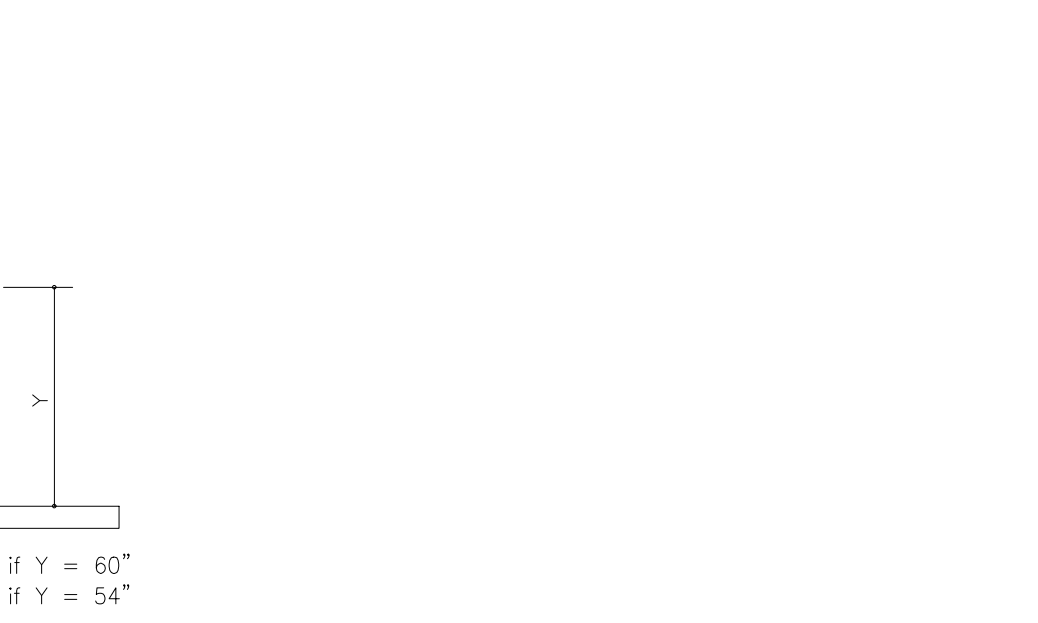
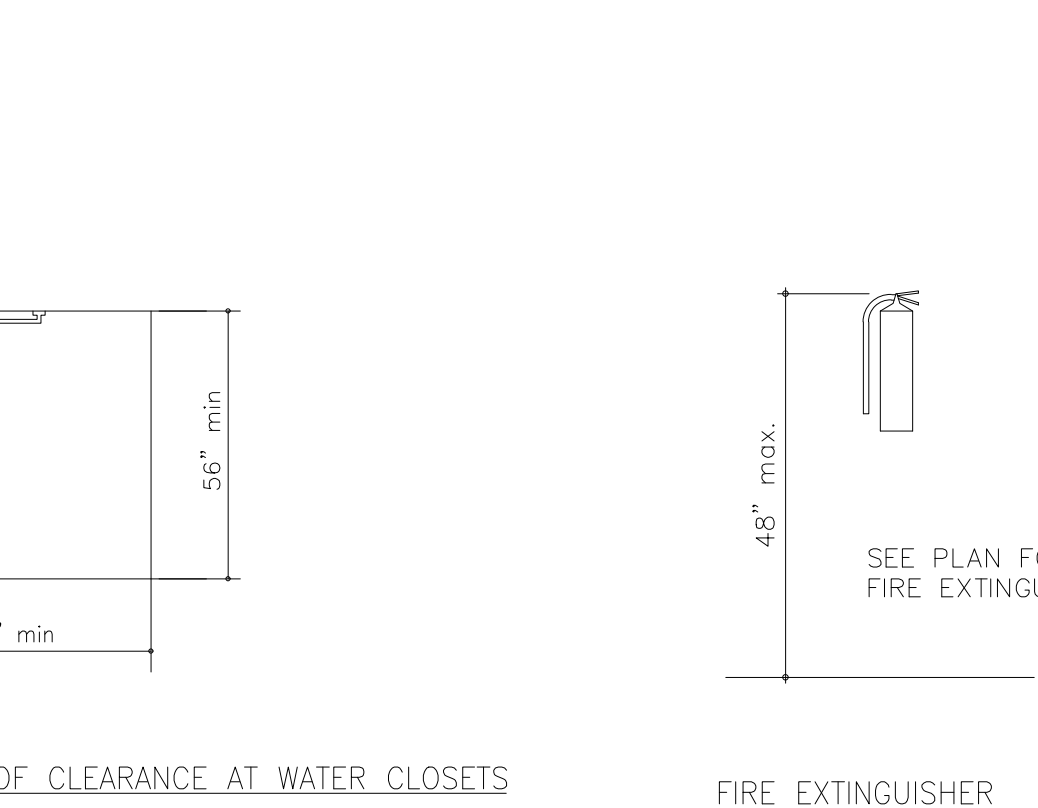
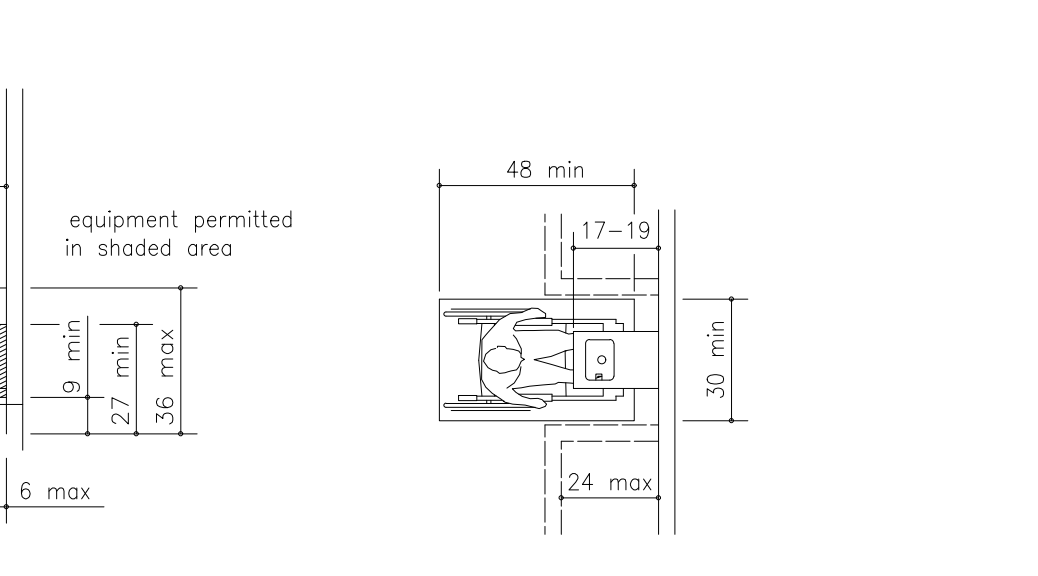


FIG. 604.3.1 SIZE OF CLEARANCE AT WATER CLOSETS

**4.0 ADA REQUIREMENTS FOR COUNTERS AND TABLES**  
SCALE: N.T.S.



SPOUT HEIGHT AND KNEE CLEARANCE



CLEAR FLOOR SPACE

RELEASED FOR CONSTRUCTION

SEAL

REVISIONS

No.	Date	Description

**BUN MI**  
VIETNAMESE GRILL  
INTERIOR RENOVATION  
THE ARAMORE, 2277 PEACHTREE ROAD  
SUITE H  
ATLANTA, GA 30305

DATE	11/29/2017
DRAWN:	JM
CHECKED:	
JOB NO.:	
TITLE	EXISTING/DEMOLITION FLOOR PLAN
SHEET NUMBER	A1.0

# 1 EXISTING/DEMOLITION FLOOR PLAN

A1.1 SCALE: 3/8" = 1'-0"

## GENERAL NOTES

- 1.- FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY PROJECT COORDINATOR OF ANY DISCREPANCIES IN WRITING PRIOR TO ONSET OF DEMOLITION.
- 2.-DEMOLITION ITEMS MAY NOT BE ALL INCLUSIVE. THE DEMOLITION CONTRACTOR IS TO REVIEW THE REQUIREMENTS OF NEW CONSTRUCTION AND IS TO COMPLETE ALL DEMOLITION, CUTTING, AND PATCHING NECESSARY TO ACHIEVE INTENDED NEW CONDITION AND QUALITY.
- 3.-ELECTIVE DEMOLITION IS NOT INDICATED IN AREAS WHERE IT MAY BE NECESSARY TO DEMOLISH ALL OR PART OF AN EXISTING BUILDING COMPONENT TO GAIN ACCESS TO AREAS FOR TIE-IN TO BUILDING SYSTEMS, OR WHICH MAY BE REQUIRED TO INSTALL NEW CONSTRUCTION INDICATED ON THE DRAWINGS . DEMOLITION FOR THESE PURPOSES SHALL BE DONE AT NO ADDITIONAL COST TO DE OWNER AND THE AREAS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION PRIOR TO BEGINNING CONSTRUCTION.
- 4.-DEMOLITION WORK SHALL BE EXECUCED IN CONFORMANCE WITH THE LOCAL BUILDING CODES.
- 5.-EXERCISE EXTREME CAUTION IN THIS DEMOLITION, COST OF REPAIR TO ANY ADJACENT CONDITIONS WHICH ARE DAMAGED AS A RESULT OF THIS DEMOLITION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 6.-RELOCATION OF MATERIAL: RELOCATION OF ANY ITEMS INVOLVED IN THE PROJECT IS SUBJECT TO THE ABILITY, TO DO SO WITHOUT PERMANENTLY DAMAGING OR MARRING THE ITEMS TO BE RELOCATED. IF RELOCATION OF ANY ITEM IS NOT POSSIBLE AS PRESCRIBED HEREIN, NEW MATERIALS SHALL BE SUBSTITUTED TO MATH EXISTING, SAFELY STORE MATERIAL TO BE REUSED UNTIL TIME OF INSTALLATION.
- 7.- ALL MATERIALS TO BE DISPOSED OF ARE TO BE DISPOSED OF BY THE CONTRACTOR OFF THE PROJECT SITE IN ACCORDANCE WITH LOCAL RESTRICTIONS UNLESS NOTED OTHERWISE.
- 8.- ALL AREAS SHALL BE KEPT IN A BROOM CLEAN CONDITION AT ALL TIMES.

## SITE

- 1.- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREIN OR NOT, AND TO PROTECT THEM FOR DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSES OF REPAIR OR RE REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK. INACTIVE OR ABANDONED UTILITIES SHALL BE CAPPED IN ACCORDANCE WITH LOCAL RESTRICTION. REMOVE ALL INACTIVE SERVICES (PLUMBING, MECHANICAL, ELECTRICAL, ETC). AS REQUIRED TO MAINTAIN OPERATION.
- 2.-MAINTAIN COMPLETE SECURITY OF THE JOBS SITE WHILE JOBS IS IN PROGRESS AND UNTIL THE JOB IS COMPLETED

## STRUCTURAL

- 1.- PROTECT ALL STRUCTURE MEMBERS FROM DAMAGE.
- 2.-DURING DEMOLITION, BRACE ALL EXISTING STRUCTURES AS NEEDED
- 3.-DO NOT CUT STRUCTURAL WORK IN A MANNER RESULTING IN A REDUCTION OF LOAD CARRYING CAPACITY OR LOAD/DEFLECTION RADIO. NOTIFY PROJECT DESIGNER/ARCHITECT OR ALL STRUCTURAL CUTS PRIOR TO EXECUTION TO OBTAIN APPROVAL.
- 3.-IN ALL AREAS WHERE DEMOLITION CAUSES UNEVENNESS IN THE FLOOR DECK, PERFORM THE NECESSARY WORK REQUIRED TO PROVIDE A SMOOTH DECK PREPARED TO RECEIVE NEW FINISHES.

## MECHANICAL/ELECTRICAL/PLUMBING

- 1.- PROVIDE ALL NECESSARY DEMOLITION FOR NEW PLUMBING, MECHANICAL, AND ELECTRICAL WORK AS REQUIRED. COORDINATE WITH CONSTRUCTION DOCUMENTS FOR NEW CONSTRUCTION
- 2.-SEE MEP DRAWINGS FOR DEMOLITION OF UTILITIES AND MECHANICAL SYSTEMS.
- 3.- AL MEP, OR COMMUNICATION SERVICE LOCATED IN WALL, CEILING, OR FLOORS TO BE REMOVED ARE TO BE CAPPED AND RELOCATED AS REQUIRED FOR NEW CONDITIONS AND IN ACCORDANCE WITH APPLICABLE CODES .

## FIRE PROTECTION

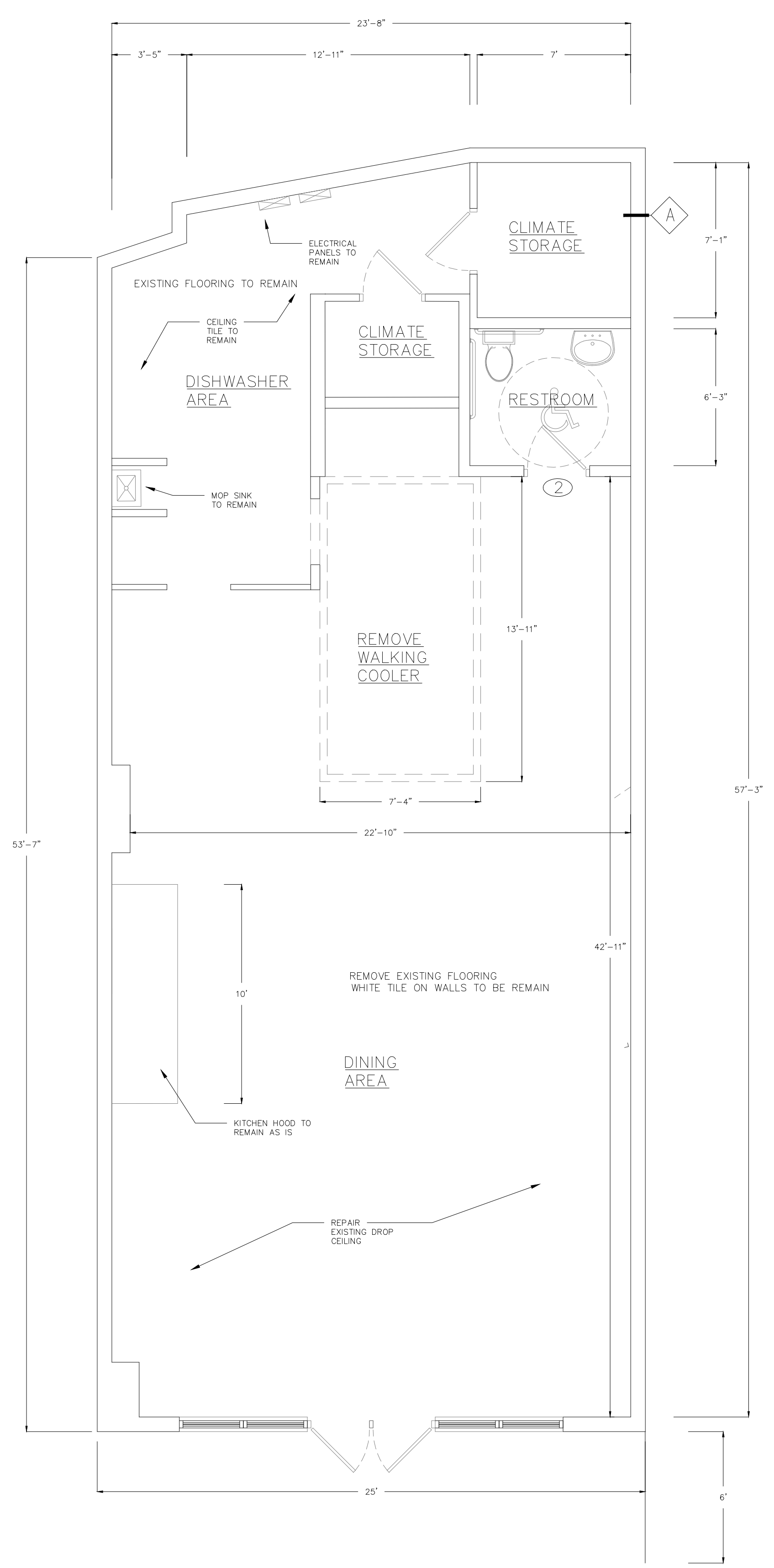
- 1.- ANY EXISTING TO REMAIN FIRE ASSEMBLIES DAMAGED DURING DEMOLITION SHALL BE REPAIRED TO MEET ORIGINAL FIRE PROTECTION REQUIREMENTS.

## FINISHES

- 1.- REMOVE ALL EXISTING WALL COVERING ON PARTITION DESIGNATED TO REMAIN PATCH AND REPAIR ALL WALL SURFACES UNLESS NOTED OTHERWISE ON PLANS, SCHEDULES, OF NOTES.
- 2.-REMOVE ALL EXISTING FLOOR FINISHES AND PREPARE SLAB TO RECEIVE NEW FLOOR FINISHES UNLESS OTHERWISE NOTED ON PLAN AND SCHEDULES OR NOTES

## WALL SYMBOL LEGEND

- EXISTING WALL TO BE REMOVED (NON LOAD BEARING WALL)
- ==== CONTINUOUS LINES DENOTE WALL TO REMAIN



# 1 EXISTING/ DEMOLITION FLOOR PLAN

A1.0 SCALE: 1/4" = 1'-0"

RELEASED FOR CONSTRUCTION

SEAL

REVISIONS

No.	Date	Description

**BUN MI**  
VIETNAMESE GRILL  
INTERIOR RENOVATION  
THE ARAMORE, 2277 PEACHTREE ROAD  
SUITE H  
ATLANTA, GA 30305

DATE 11/29/2017

DRAWN: JM

CHECKED:

JOB NO.:

TITLE  
PROPOSED FLOOR  
PLAN

SHEET NUMBER

A1.1

SYMBOL	WALL TYPE	HATCH
Ⓐ	EXISTING 1 HR TENANT WALL.	
Ⓑ	INTERIOR WALL TO REMAIN	
Ⓒ	NEW NON RATED WALL 2"x3 5/8" x 25GA STEEL STUDS @ 16" O.C WITH ONE LAYER OF 1/2" THICK GYPSUM BOARD ON BOTH SIDES. WALL HEIGHT 10'-0" A.F.F	
Ⓓ	NEW NON RATED WALL 2"x3 5/8" x 25GA STEEL STUDS @ 16" O.C WITH ONE LAYER OF 1/2" THICK GYPSUM BOARD COVERED WITH FRP PANELS FACING KITCHEN AND PERMA-BASE CONCRETE PANEL FOR TILE INSTALLATION FACING DINNING ROOM, QUARTZ COUNTER TOP. WALL HEIGHT 36" A.F.F	

WALL FINISH SCHEDULE

(1) WALL VEGETABLE GARDEN.

EQUIPMENT SCHEDULE					
ITEM	EQUIPMENT	MANUFACTURE R	MODEL	DIMENSIONS	NOTES
K-1	Gas Stock Pot Range	Vulcan or similar	VSP100-1	18"(W)24 1/2"(D)x24"(H)	Natural Gas 110,000 BTU / NEW
K-2	GRILL	Bakers Pride or similar	BPHMG-2436i	36"(W)x33 3/8"(D)x15 1/2"(H)	Natural Gas 120,000 BTU / NEW
K-3	FRYER	Avantco or similar	FF300	15.5"(W)x30.25"(D)x47.125"(H)	Natural Gas 90,000BTU / NEW
K-4	HOT DISPLAY	T.B.D	T.B.D	60"	Electric / NEW
K-5	COLD DISPLAY	Turbo Air or similar	JB1-60	59"(W)x27 1/2"(D)x28 3/4"(H)	Electric / NEW
K-6	BEVERAGE DISPENSER	Avantco or similar	RBD33	25"(W)x17"(D)x25"(H)	Electric / NEW
K-7	UNDERCOUNTER BREAD OVEN	Hengxing or similar	HXYXD-BB	29.33"(L)x27.56"(W)x17.32"(H)	Electric / NEW
K-8	UNDERCOUNTER Refrigerator	Turbo Air	Air MUR-36 M3 Series	36- 1/2"	Electric / NEW
K-9	KITCHEN HOOD	Existing	Existing	10'	EXISTING
K-10	P.O.S. SYSTEM	-	-	-	T.B.D. BY OWNER

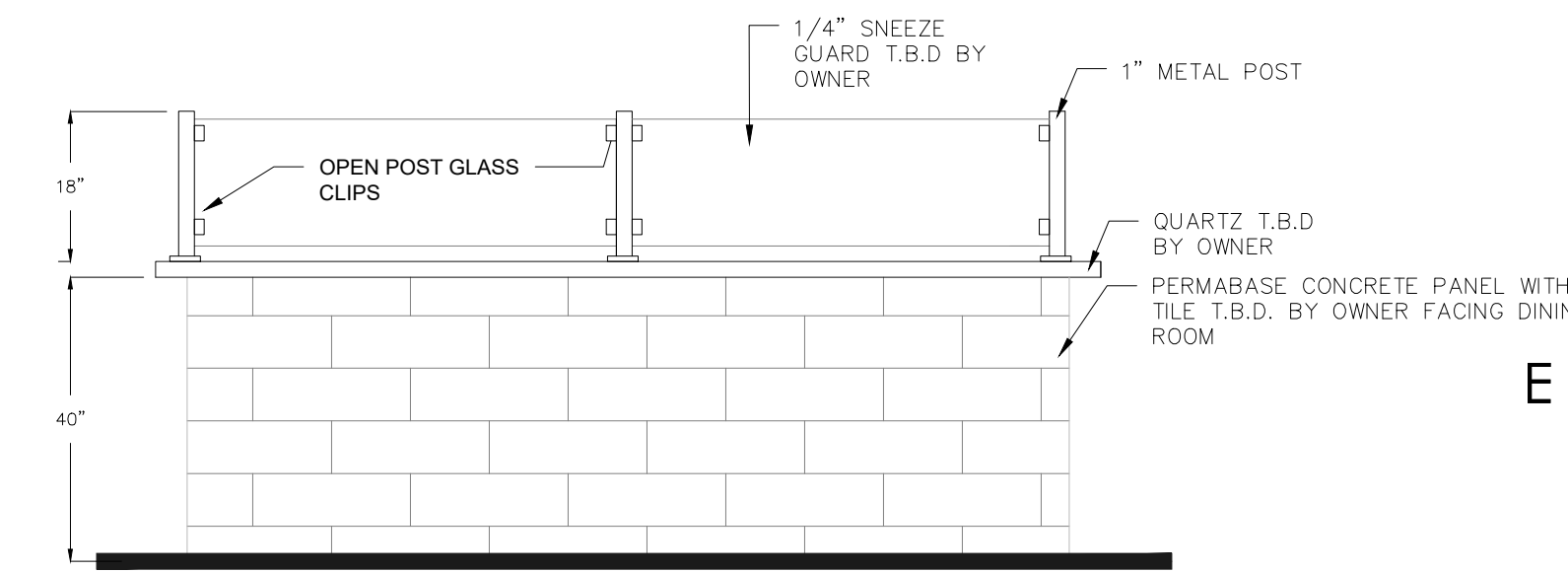
DOOR SCHEDULE						
DOOR NO.	DOOR SIZE			QTY	TYPE	REMARKS
	W	H	T			
①	6'-0"	7'-0"	1 3/4"	1	AL/GL	TO REMAIN
②	3'-0"	7'-0"	1 3/4"	3	EXISTING	TO REMAIN
③	3'-0"	7'-0"	1 3/4"	2	T.B.D	NEW
④	5'-10"	-	-	2	GARAGE DOOR	NEW

GENERAL NOTES

- ALL DIMENSIONS ARE FACE TO FACE OF FINISHED WALL, UNLESS OTHERWISE NOTED.
- PROVIDE MOISTURE RESISTANT GYPSUM BOARD FOR WALLS WITH PLUMBING FIXTURES.
- REFER TO WALL TYPE LEGEND FOR WALL INFORMATION.
- ALL FINISHING SELECTIONS TO BE ARRANGE WITH OWNER. WALL COLORS, WALL TILES AND GROUT, FRONT COUNTER DETAILS.
- ALL FURNISHINGS, DECOR, BUSINESS EQUIPMENTS AND OTHER INTERIOR DESIGN ITEMS SHALL BE FURNISHED AND INSTALLED BY THE OWNER.

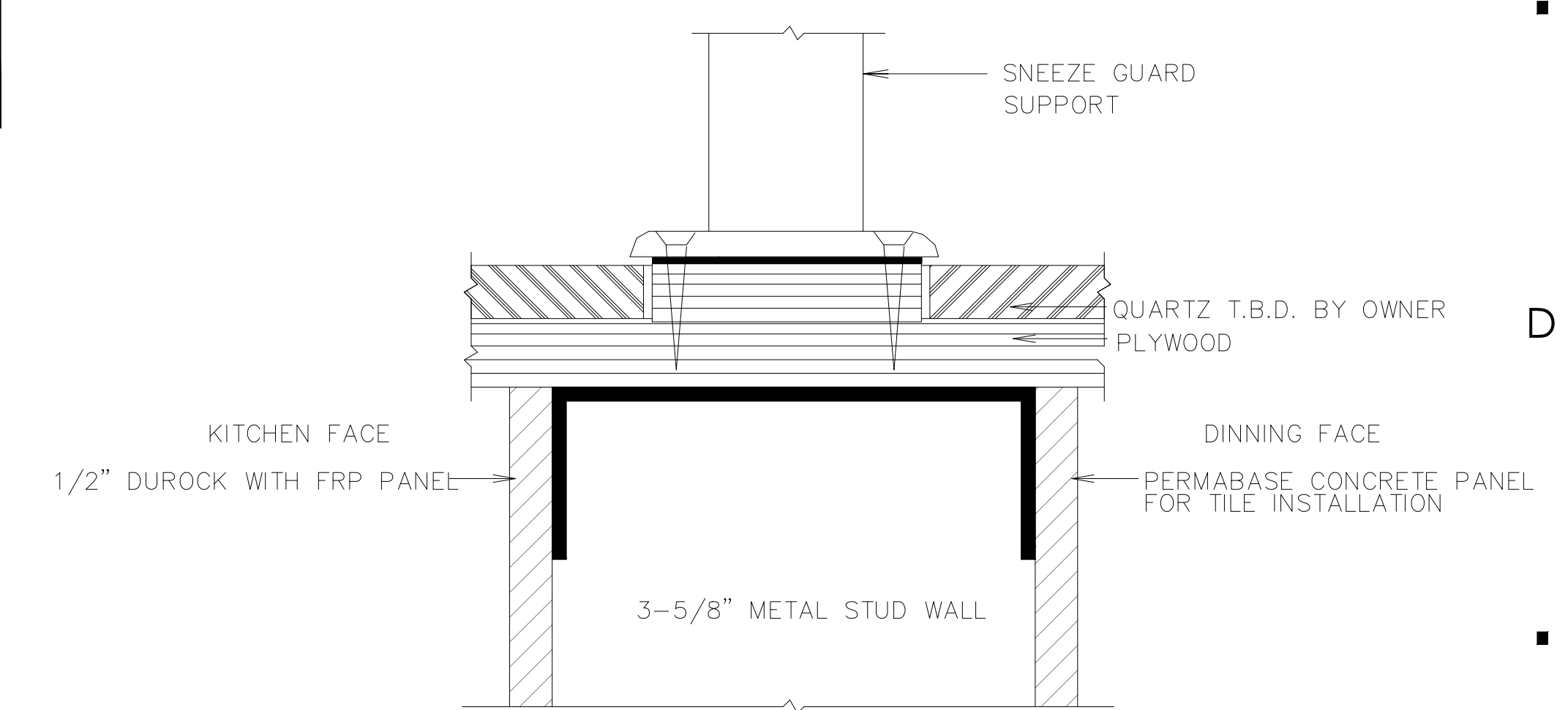
FINISH SCHEDULE

ROOM AREA	FLOOR	BASE	WALLS	CEILING
KITCHEN	NEW 6"x6" QUARRY TILE	6" QUARRY BASE	EXISTING FRP TO REMAIN	2'X4' VINYL CEILING TILE
RESTROOMS	EXISTING TILE	-	-	-
DINING	NEW FLOORING (T.B.D)	(T.B.D)	WHITE TILE TO REMAIN	REPLACE AND REPAIR 2'X4' CEILING TILE WOOD DETAILS ON BENCH SITTING AREA
OPEN KITCHEN	NEW 6"x6" QUARRY TILE	6" QUARRY BASE	EXISTING FRP TO REMAIN	2'X4' VINYL CEILING TILE
WALKING COOLER	6"x6" QUARRY TILE	6" QUARRY BASE	-	-
DISHWASHER ROOM	QUARRY TILE TO REMAIN	4" VINYL	EXISTING FRP TO REMAIN	2'X4' VINYL CEILING TILE
CASHIER	6"x6" QUARRY TILE	6" QUARRY BASE	-	-



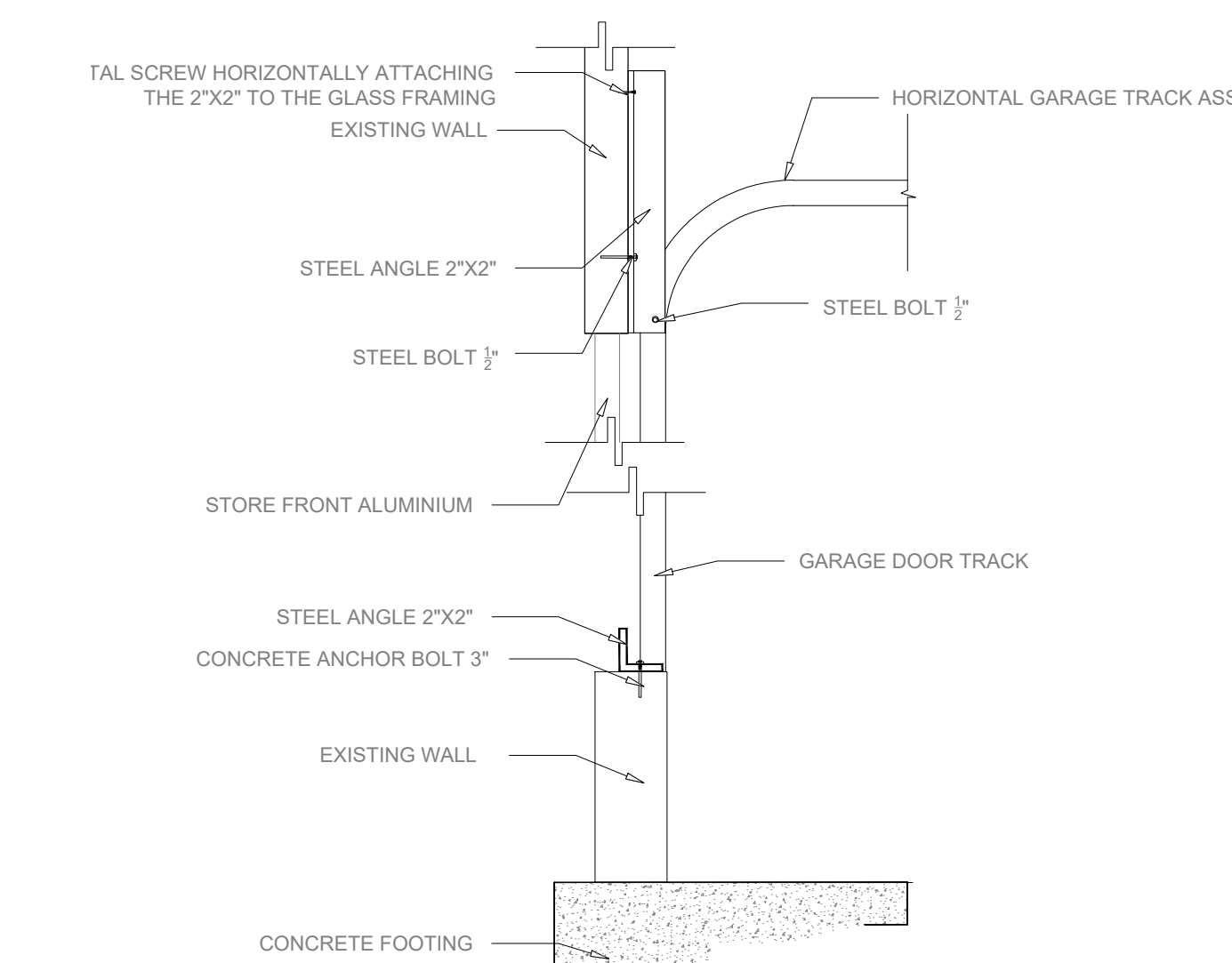
1 LOW HEIGHT WALL DETAIL

A1.1 SCALE: N.T.S



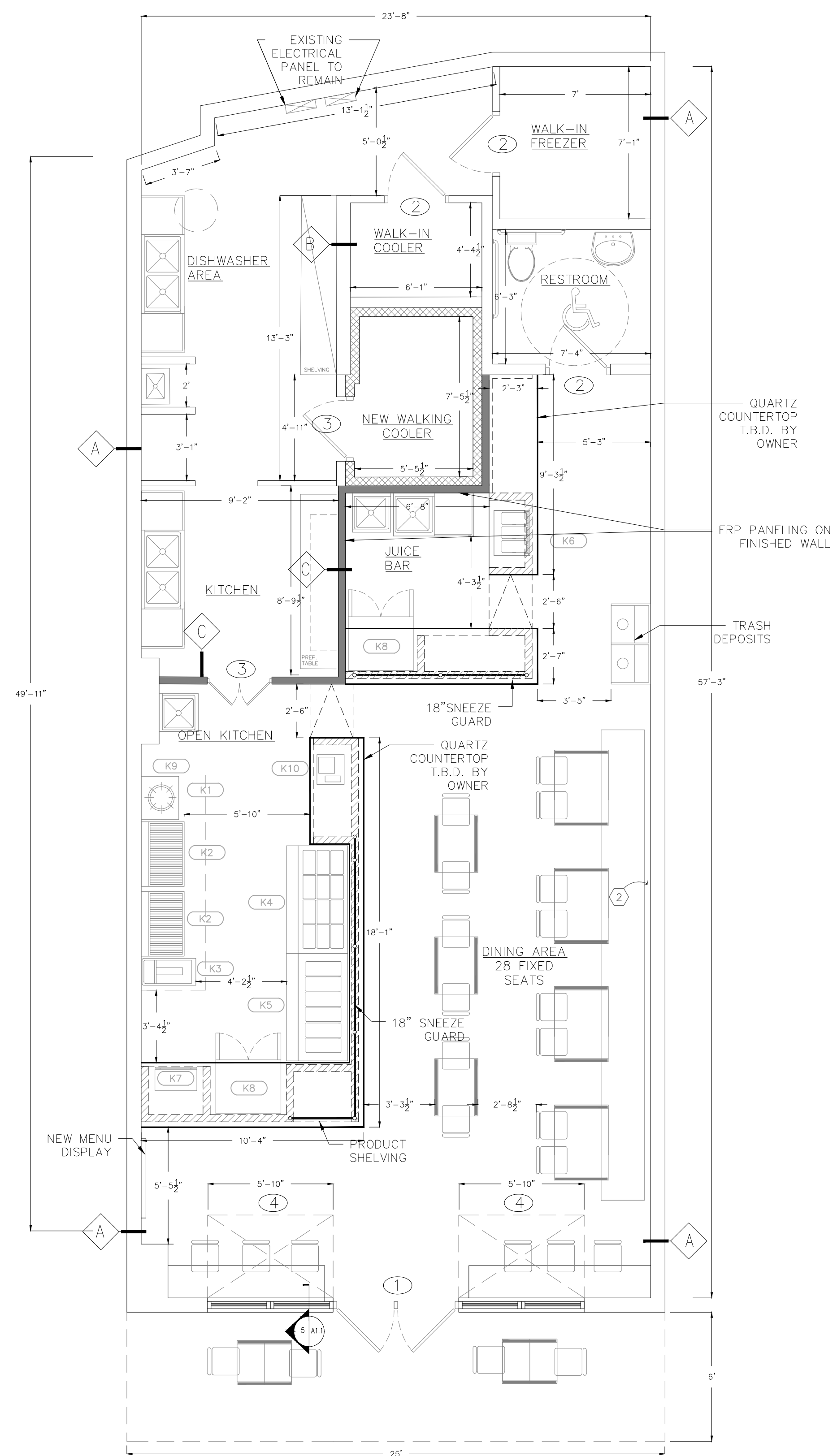
4 SNEEZE GUARD MOUNTING DETAIL

A1.1 SCALE: N.T.S



5 MOUNTING DETAIL

A1.1 SCALE: N.T.S



1 PROPOSED FLOOR PLAN

A1.1 SCALE: 1/4" = 1'-0"

RELEASED FOR CONSTRUCTION

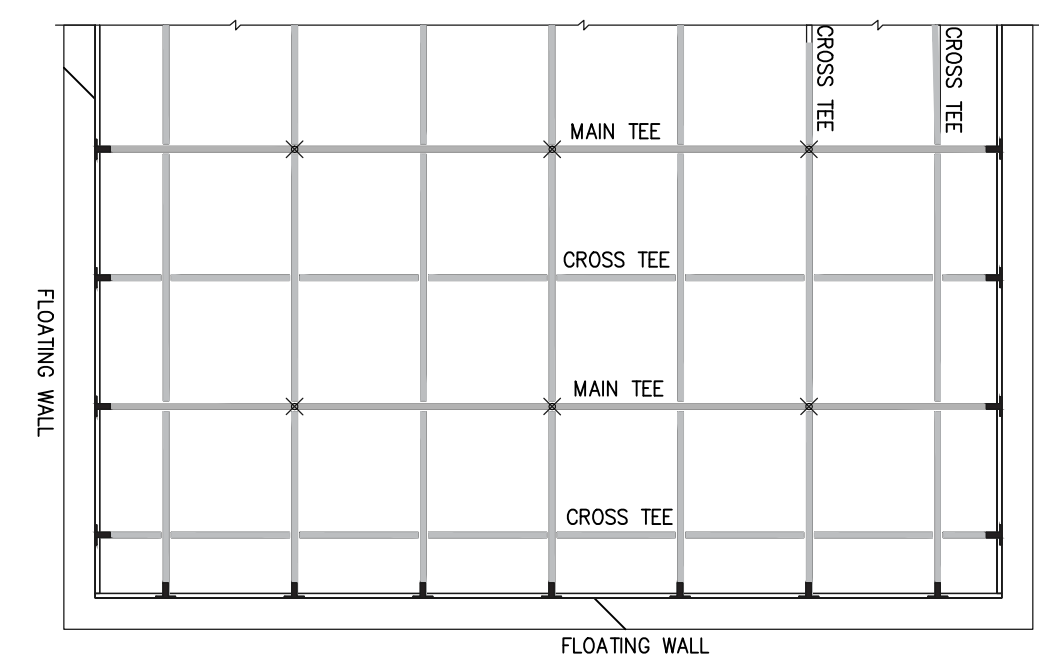
Accurate Engineering, Inc.  
 Engineer: H. Leroy Lark  
 Professional Registered  
 Number: 16661  
 9303 Fairington Ridge Circle.  
 Lithonia, GA 30038  
 404.218.1504

SEAL

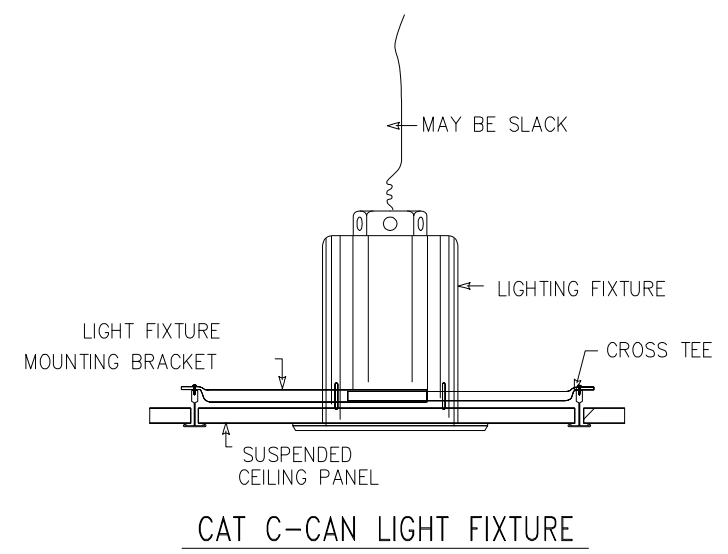
REVISIONS		
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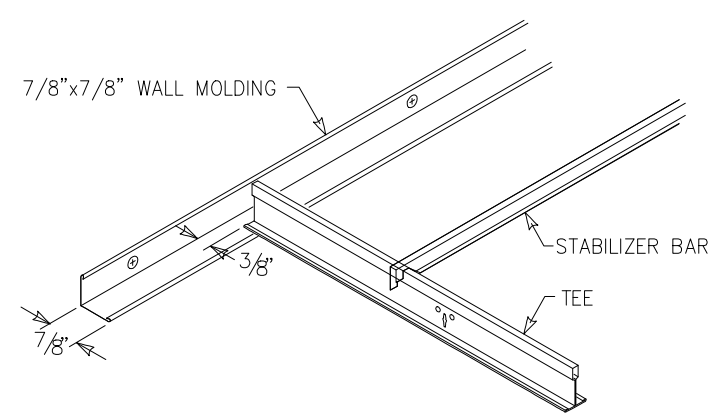
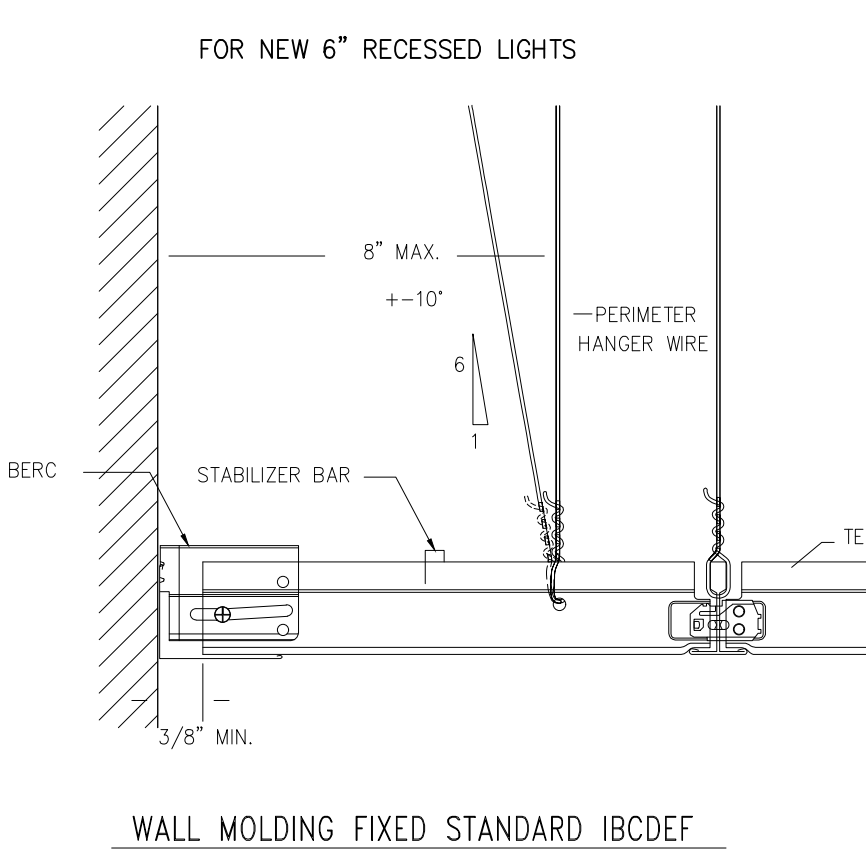
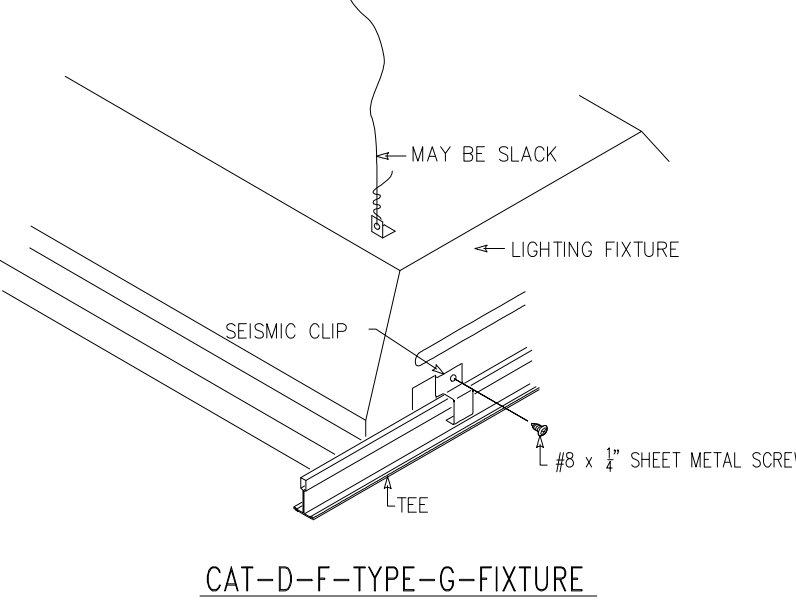
DATE	11/29/2017
DRAWN:	JM
CHECKED:	
JOB NO.:	
TITLE	REFLECTED CEILING PLAN
SHEET NUMBER	A2.0



2  
 A1.1  
**SEISMIC DETAIL - CAT-C-CLIP CEILING LAYOUT**  
 SCALE: N.T.S



TYPE 'C' LIGHT FIXTURE ATTACHED TO GRID - IBC CATEGORIES D,E,F



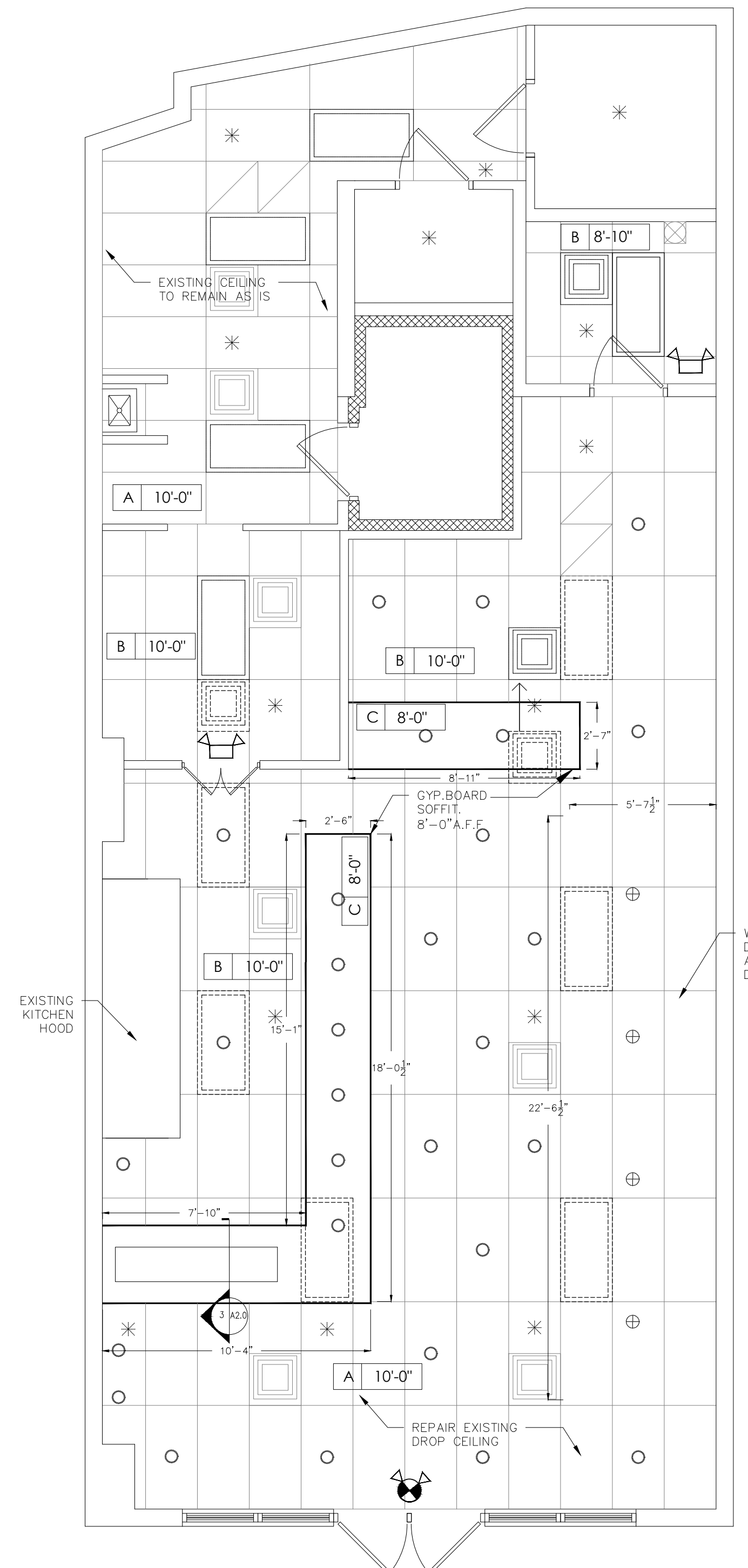
**CEILING TYPE**

A   10'-0"	REPAIR WHERE NEEDED, EXISTING SUSPENDED CEILING SYSTEM WITH 2X4 ACOUSTICAL CEILING TILE AND GRID. (MATCH TO EXIST).
B   10'-0"	REPAIR WHERE NEEDED, EXISTING SUSPENDED CEILING SYSTEM WITH 2X2 ACOUSTICAL CEILING TILE AND GRID. VINYL FACE (MATCH TO EXIST).
C   8'-0"	SOFFIT BOX ABOVE COUNTERTOP, FRAMED WITH 3/8" METAL STUDS SEE A2.1 FOR DETAILS

**ELECTRICAL/MECHANICAL FIXTURE SCHEDULE**

SYMBOL	DESCRIPTION
	EXISTING SUPPLY AIR DIFFUSER TO BE REMAIN AT ORIGINAL LOCATION
	EXISTING SUPPLY AIR DIFFUSER TO BE RELOCATED
	RELOCATED SUPPLY AIR NEW LOCATION
*	EXISTING FIRE SPRINKLER TO REMAIN AT ORIGINAL LOCATION
	EXISTING EXHAUST FAN
	EXISTING RETURN AIR GRILLE
	EXISTING 2'X4' LIGHTING TO REMAIN
	EXISTING 2'X4' LIGHTING TO BE REMOVED
	NEW CAN LIGHTING T.B.D BY OWNER
	NEW PENDANT LIGHTING T.B.D BY OWNER

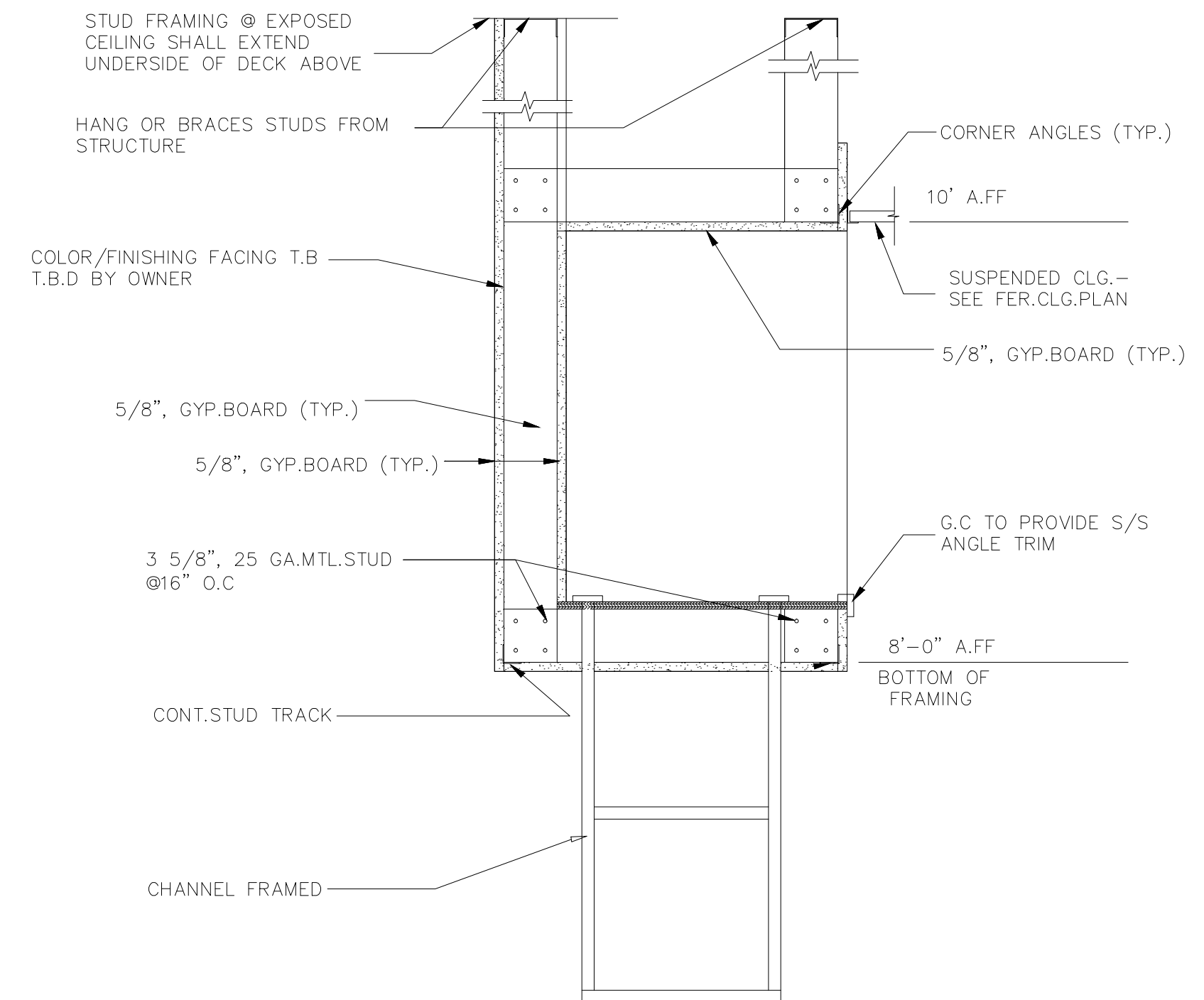
NOTE:  
 REPLACE ALL TROFFER LAMPS ON DINING AND OPEN KITCHEN



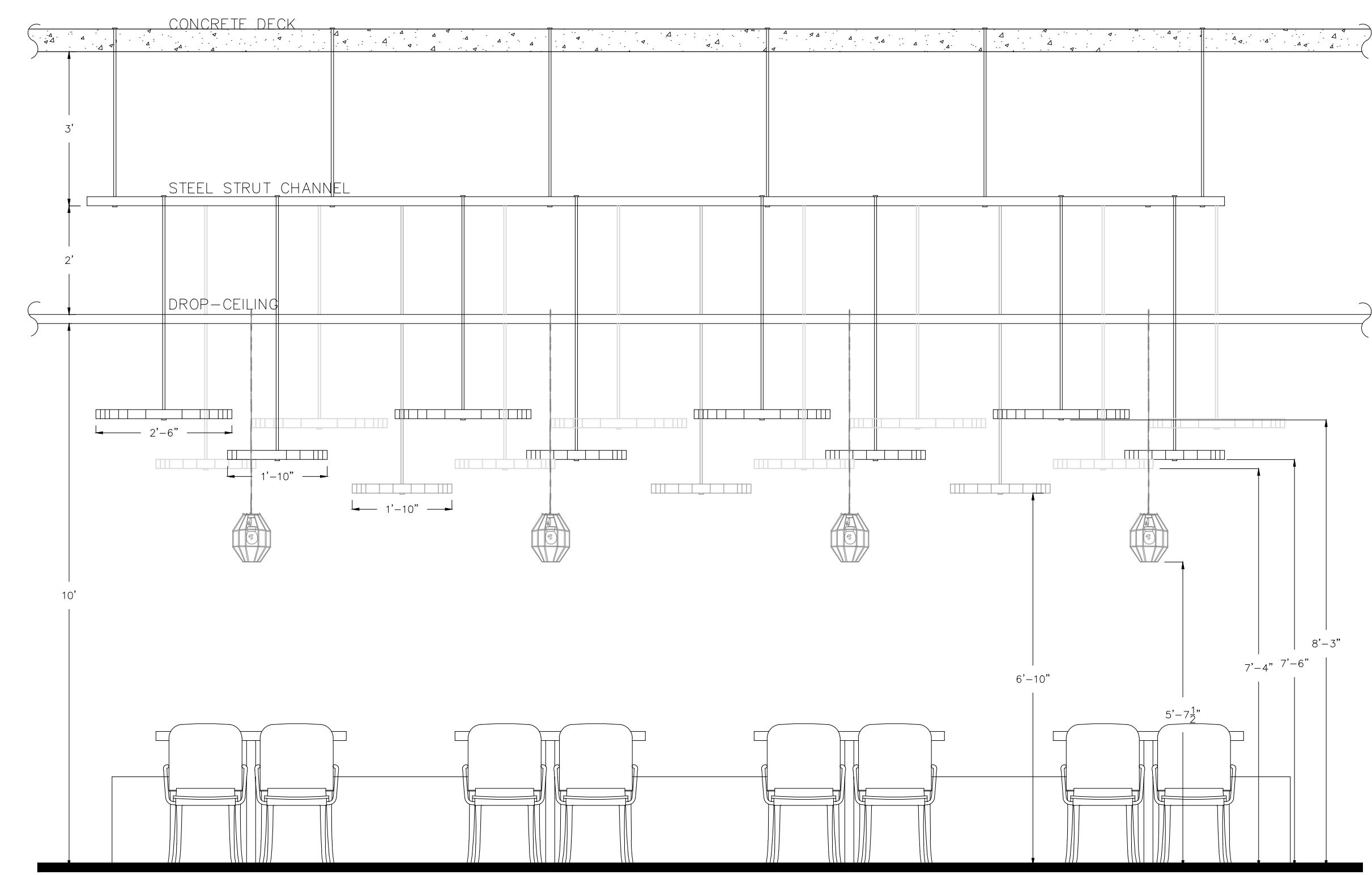
1  
 A1.1  
**REFLECTED CEILING PLAN**  
 SCALE: 1/4" = 1'-0"

RELEASED FOR CONSTRUCTION

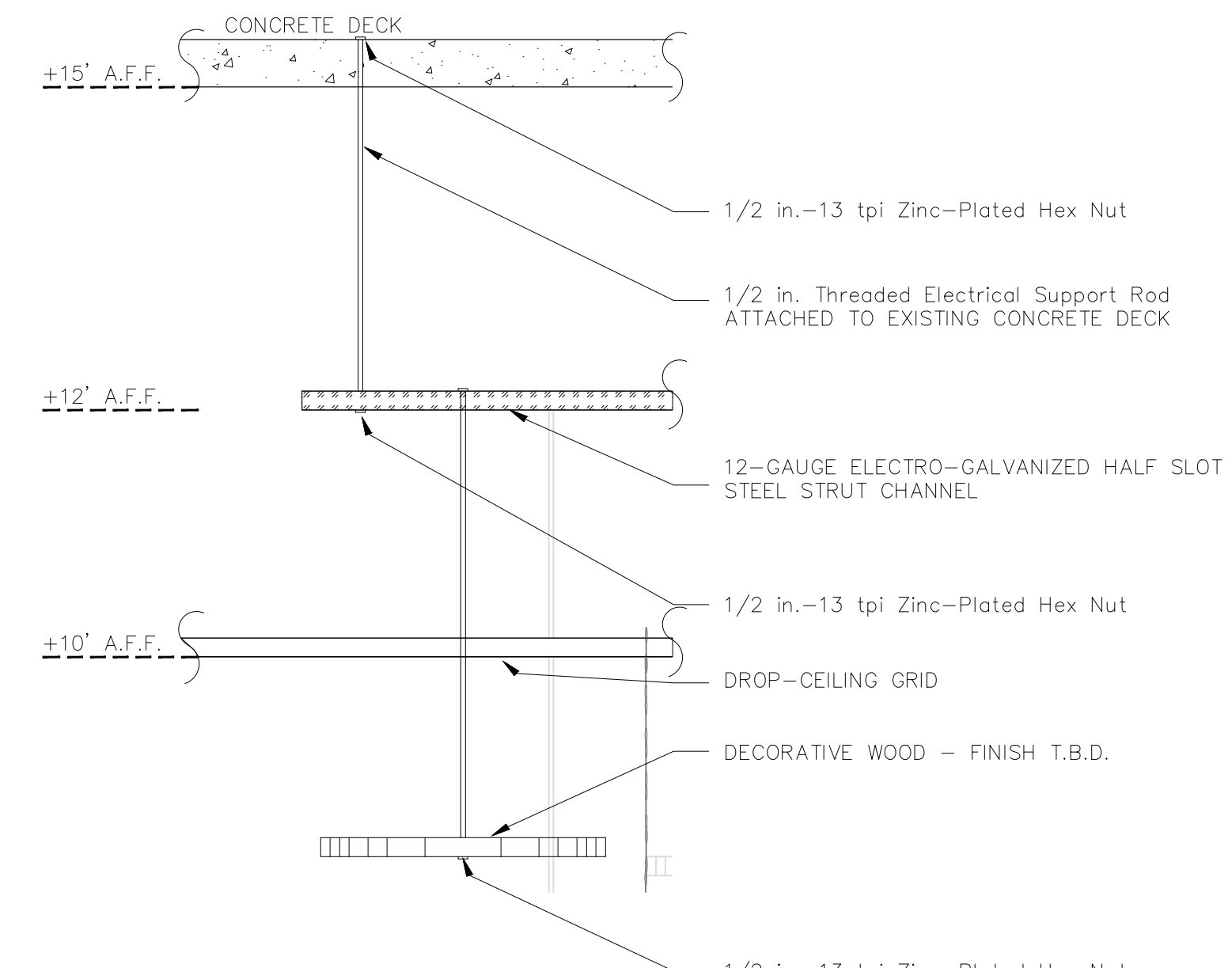
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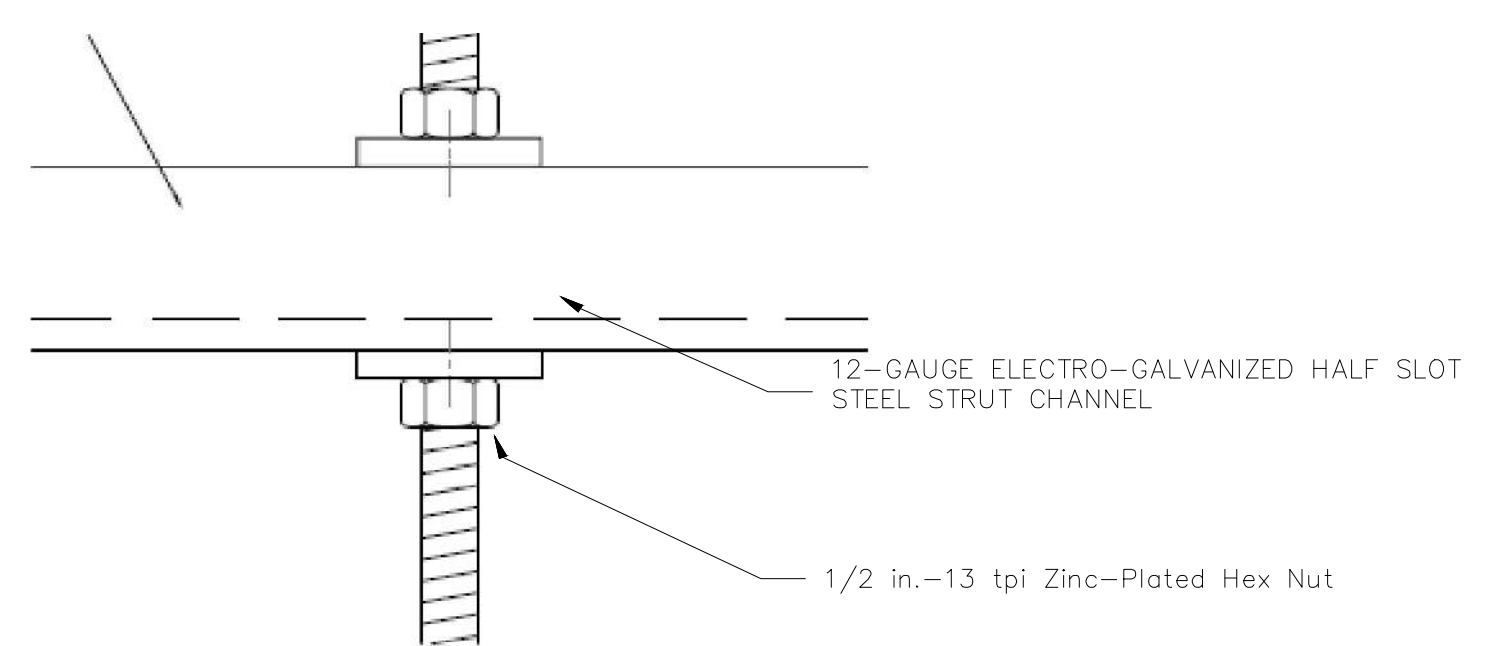
1 BOX DETAIL  
 A2.1 SCALE: N.T.S.



2 ELEVATION - BENCH DINING AREA  
 A2.1 SCALE: 1/2" = 1'-0"



3 WOOD SUSPENDING CEILING SUPPORT DETAIL  
 A2.1 SCALE: N.T.S.



4 STRUT CHANNEL CONNECTION DETAIL  
 A2.1 SCALE: N.T.S.

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TITLE  
ELECTRICAL PLAN

SHEET NUMBER

E1.0

RELEASED FOR CONSTRUCTION

### EXISTING PANEL SCHEDULE: L1A

CKT NO	AMPS TRIP	P	CIRCUIT DESCRIPTION	KVA	a	b	c	KVA	CIRCUIT DESCRIPTION	P	AMPS TRIP	CKT NO
1	20	1	DINNING LIGHTS/EXIT SIGNS	1.6	●	●	●	0.0	SPARE	1	20	2
3	20	1	KITCHEN LIGHTS	0.8	●	●	●	0.2	48" A.F.F. RECEPTACLE	1	20	4
5	20	1	SPARE	0.0	●	●	●	0.0	SPARE	1	20	6
7	20	1	RECEPT.	0.4	●	●	●	0.0	SPARE	1	20	8
9	20	1	RECEPT.	0.4	●	●	●	0.2	48" A.F.F. RECEPTACLE	1	20	10
11	20	1	RECEPT.	0.4	●	●	●	0.0	SPARE	1	20	12
13	20	1	QUAD RECEPT.	0.4	●	●	●	0.0	SPARE	1	20	14
15								0.0	SPARE	1	20	16
17	50	3	FCU-1	4.8	●	●	●	0.0	SPARE	1	20	18
19								0.8	COOLER COMPRESSOR	1	20	20
21	20	1	QUAD RECEPT.	0.4	●	●	●	0.2	COOLER LIGHT	1	20	22
23	20	1	QUAD RECEPT.	0.4	●	●	●					24
25	20	1	SIGN	0.4	●	●	●	1.2	FREEZER COMPRESSOR	1	20	26
27	20	1	HOOD EXHAUST	6.3	●	●	●	0.2	FREEZER LIGHT	1	20	28
29	20	1	SPARE	0.0	●	●	●	0.2	RECEPTACLE	1	20	30
31	20	1	RECEPTACLE	0.2	●	●	●	0.0	SPARE	1	20	32
33								0.0	SPARE	1	20	34
35	30	1	FCU-2	3.2	●	●	●	0.0	SPARE	1	20	36
37												38
39	20	1	SPARE	0.0	●	●	●	14.8	SUBPANEL A1B	3	100	40
41	20	1	MAKE UP AIR	6.2	●	●	●					42

CONNECTED LOAD: 44.42 KVA X1000 / 1.732 / 208 = 123.30 AMPS

PANEL: L1A (EXIST) MAIN: MLO  
VOLTAGE: 120/240V MOUNTING: SURFACE  
SIZE: 225 amp ENCL: NE-1  
100% NEUTRAL: YES WIRE: 3  
AIC:10KA GROUND BUS: Y

### EXISTING SUB-PANEL SCHEDULE: L1B

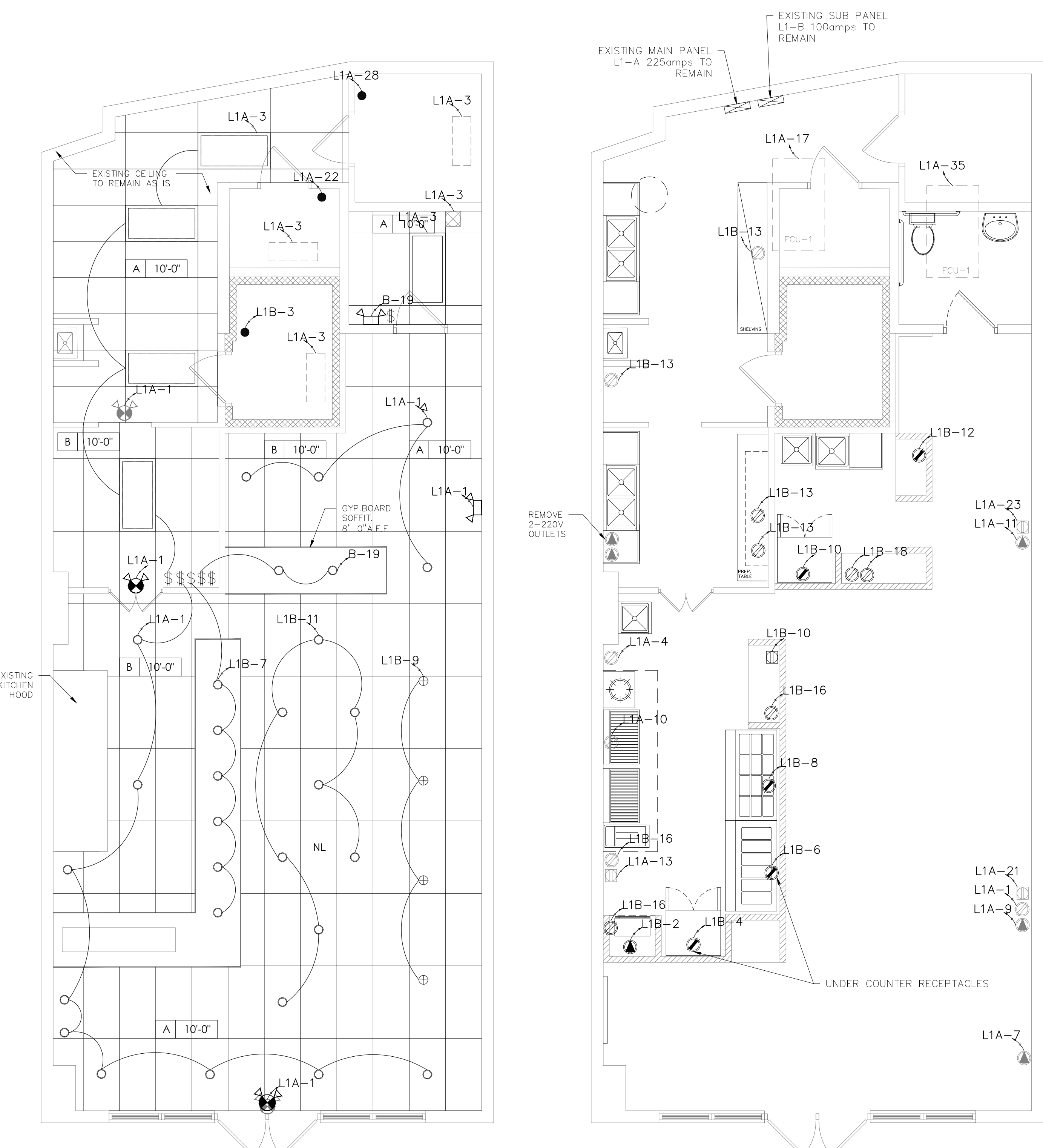
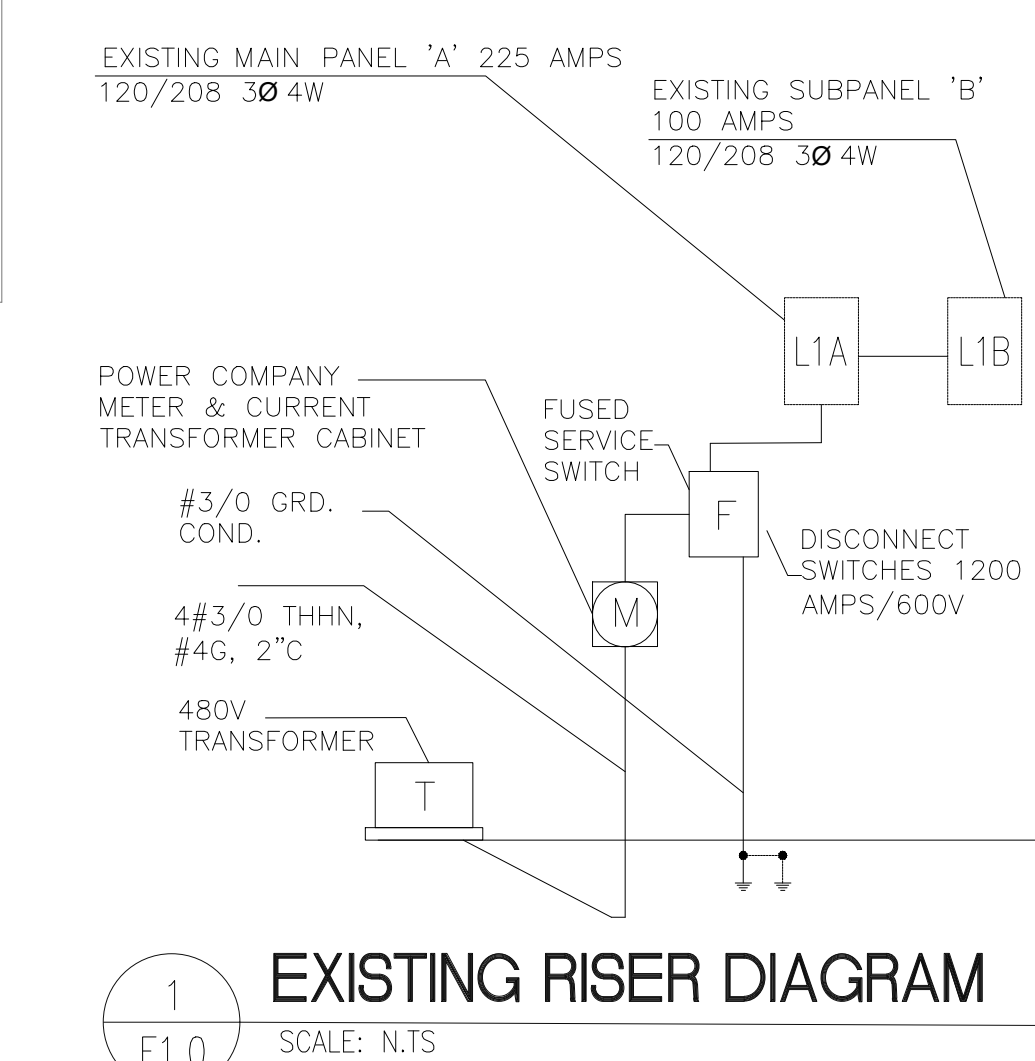
CKT NO	AMPS TRIP	P	CIRCUIT DESCRIPTION	KVA	a	b	c	KVA	CIRCUIT DESCRIPTION	P	AMPS TRIP	CKT NO
1								3.2	BREAD OVEN	1	20	2
3	20	1	NEW WALK-IN COOLER COMPRESSOR	1.2	●	●	●	1.3	REFR. OPEN KITCHEN	1	20	4
5	20	1	NEW COOLER LIGHT	0.2	●	●	●	1.1	COLD DISPLAY	1	20	6
7	20	1	SOFFIT BOX LIGHTS	0.8	●	●	●	1.1	HOT DISPLAY	1	20	8
9	20	1	PENDANT LIGHTS	0.4	●	●	●	1.3	REFR. JUICE BAR	1	20	10
11	20	1	DINNING SEATING SECTION LIGHTS	0.8	●	●	●	0.3	BEV. DISPENSER JUICE BAR	1	20	12
13	20	1	PREP TABLE RECEPT.	0.4	●	●	●	0.4	POS	1	20	14
15	20	1	SPARE	0.0	●	●	●	0.0	RECEPT. KITCHEN COUNTER	1	20	16
17	20	1	SPARE	0.0	●	●	●	0.0	RECEPT. JUICE BAR	1	20	18
19	20	1	SPARE	0.0	●	●	●	0.2	RECEPTACLE	1	20	20
21	20	1	SPARE	0.0	●	●	●	0.2	RECEPTACLE	1	20	22
23	20	1	SPARE	0.0	●	●	●	0.0	SPARE	1	20	24
25	20	1	QUAD RECEPT.	0.4	●	●	●	0.0	SPARE	1	20	26
27	20	1	QUAD RECEPT.	0.4	●	●	●	0.0	SPARE	1	20	28
29	20	1	QUAD RECEPT.	0.4	●	●	●	0.4	QUAD RECEPT.	1	20	30
31	20	1	SPARE	0.0	●	●	●	0.0	SPARE	1	20	32
33	20	1	SPARE	0.0	●	●	●	0.0	SPARE	1	20	34
35	20	1	SPARE	0.0	●	●	●	0.0	SPARE	1	20	36
37	20	1	SPARE	0.0	●	●	●	0.0	SPARE	1	20	38
39	20	1	SPARE	0.0	●	●	●	0.0	SPARE	1	100	40
41	20	1	SPARE	0.0	●	●	●	0.0	SPARE	1	20	42

CONNECTED LOAD: 14.8 KVA X1000 / 1.732 / 208 = 41.08 AMPS

PANEL: L1B (EXIST) MAIN: MLO  
VOLTAGE: 120/240V MOUNTING: SURFACE  
SIZE: 100 amp ENCL: NE-1  
100% NEUTRAL: YES WIRE: 3  
AIC:10KA GROUND BUS: Y

### LIGHTING FIXTURE SCHEDULE

SYMBOL	DESCRIPTION
○	REPLACE ALL FLUORESCENT TROFFERS WITH NEW COMMERCIAL GRADE RECESS LIGHT FIXTURE - LED BULB WITH TRIM FOR WET/DAMP LOCATIONS. 65 WATTS EQUIVALENT 11 WATTS ENERGY USED - 2700 SOFT WHITE LIGHT-690 LUMEN. KITCHEN AREA
□	EXISTING 2'X4' LIGHTING
⊕	NEW PENDANT LIGHT
⊗	EXISTING EXHAUST FAN
●	WALK IN COOLER LIGHTS
⬇	EMERGENCY EXIT LIGHTS
⬇	EMERGENCY EXIT COMBO SIGN (EXISTING)
⬇	EMERGENCY EXIT COMBO SIGN (NEW)
□	QUAD RECEPTACLE (NEW)
□	QUAD RECEPTACLE (EXISTING)
⓪	110V GFCI OUTLET (NEW)
⓪	110V GFCI OUTLET (EXISTING)
⓪	110V OUTLET (NEW)
⓪	110V OUTLET (EXISTING)
⓪	120V OUTLET (NEW)
⓪	120V OUTLET (EXISTING)
⓪	220V OUTLET (NEW)
⓪	220V OUTLET (EXISTING)
⓪	SWITCH SECTION



1 LIGHTING PLAN  
SCALE: 1/4" = 1'-0"

1 POWER PLAN  
SCALE: 1/4" = 1'-0"

CEILING TYPE	ELECTRICAL NOTES
A 10'-0"	1. ELECTRICAL WORK IS INDICATED FOR THIS PROJECT. WORK SHALL BE PERFORMED BY A CONTRACTOR LICENSED TO PERFORM SUCH ACTIVITY WITHIN THE JURISDICTION OF CITY OF ATLANTA. A SEPARATE INSTALLATION PERMIT REQUIRED. A SEPARATE LOW VOLTAGE PERMIT IS REQUIRED. COMPLY WITH ALL APPLICABLE CODES AND CITY OF ATLANTA ELECTRICAL AND FIRE INSPECTIONS AND APPROVALS. 2. ALL ELECTRICAL OUTLETS WITHIN 48" OF A WATER SOURCE SHOULD BE GFCI. 3. RELOCATE LIGHTS AS NEEDED.
B 10'-0"	
B 8'-10"	

REPAIR WHERE NEEDED. EXISTING SUSPENDED CEILING SYSTEM WITH 2X4 ACOUSTICAL CEILING TILE AND GRID. (MATCH TO EXIST).

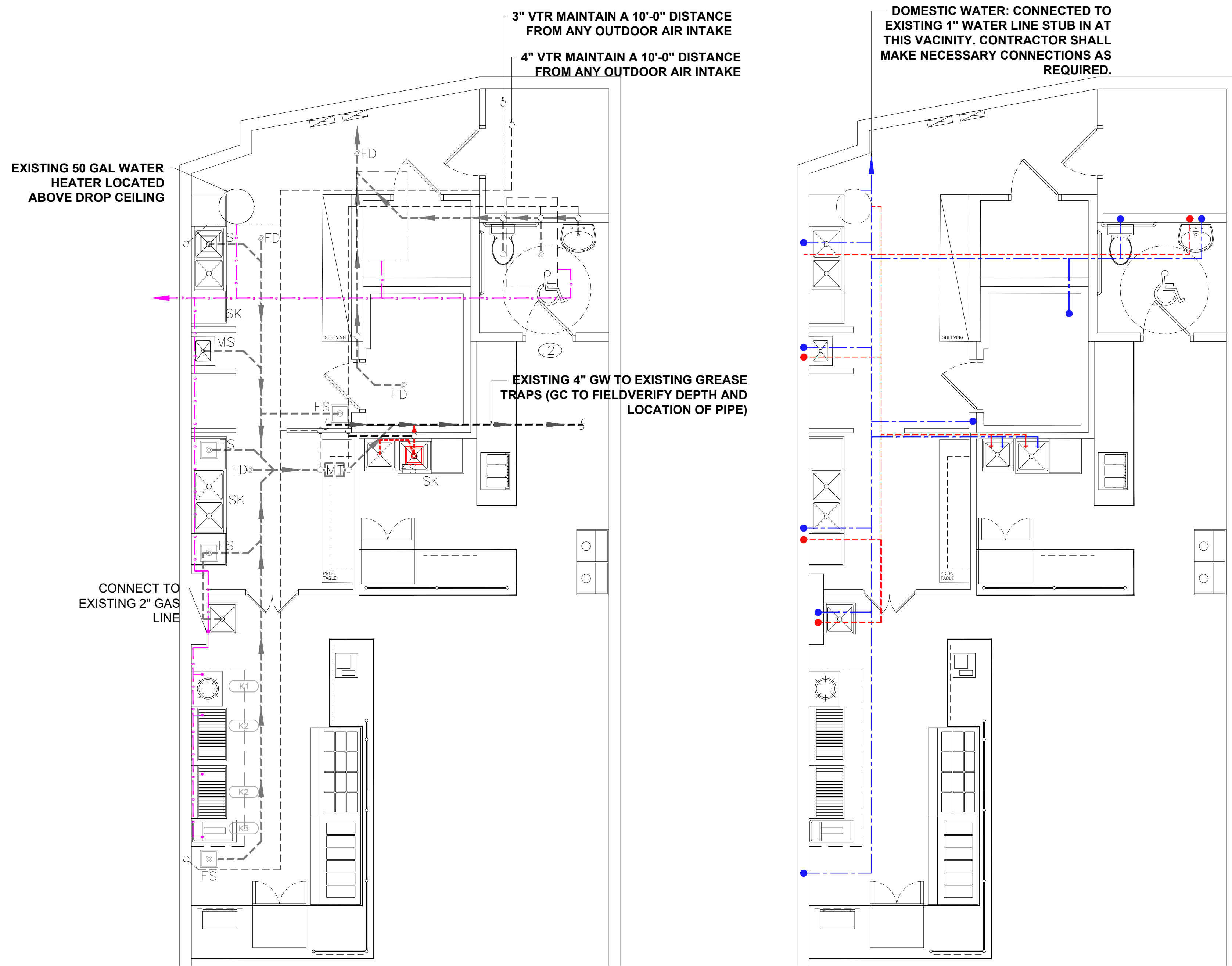
REPAIR WHERE NEEDED. EXISTING SUSPENDED CEILING SYSTEM WITH 2X2 ACOUSTICAL CEILING TILE AND GRID. VINYL FACE (MATCH TO EXIST).

REPAIR WHERE NEEDED. EXISTING SUSPENDED CEILING SYSTEM WITH 2X2 ACOUSTICAL CEILING TILE AND GRID. VINYL FACE (MATCH TO EXIST).

SEAL

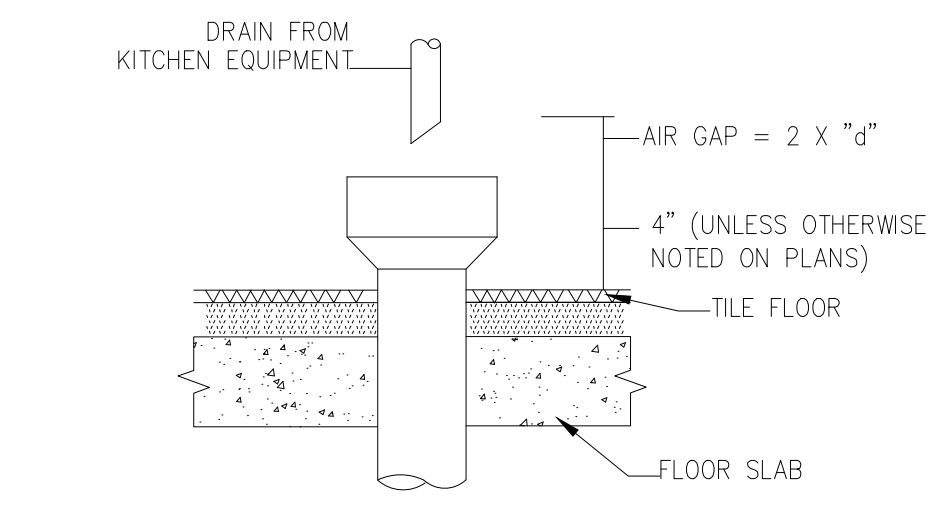
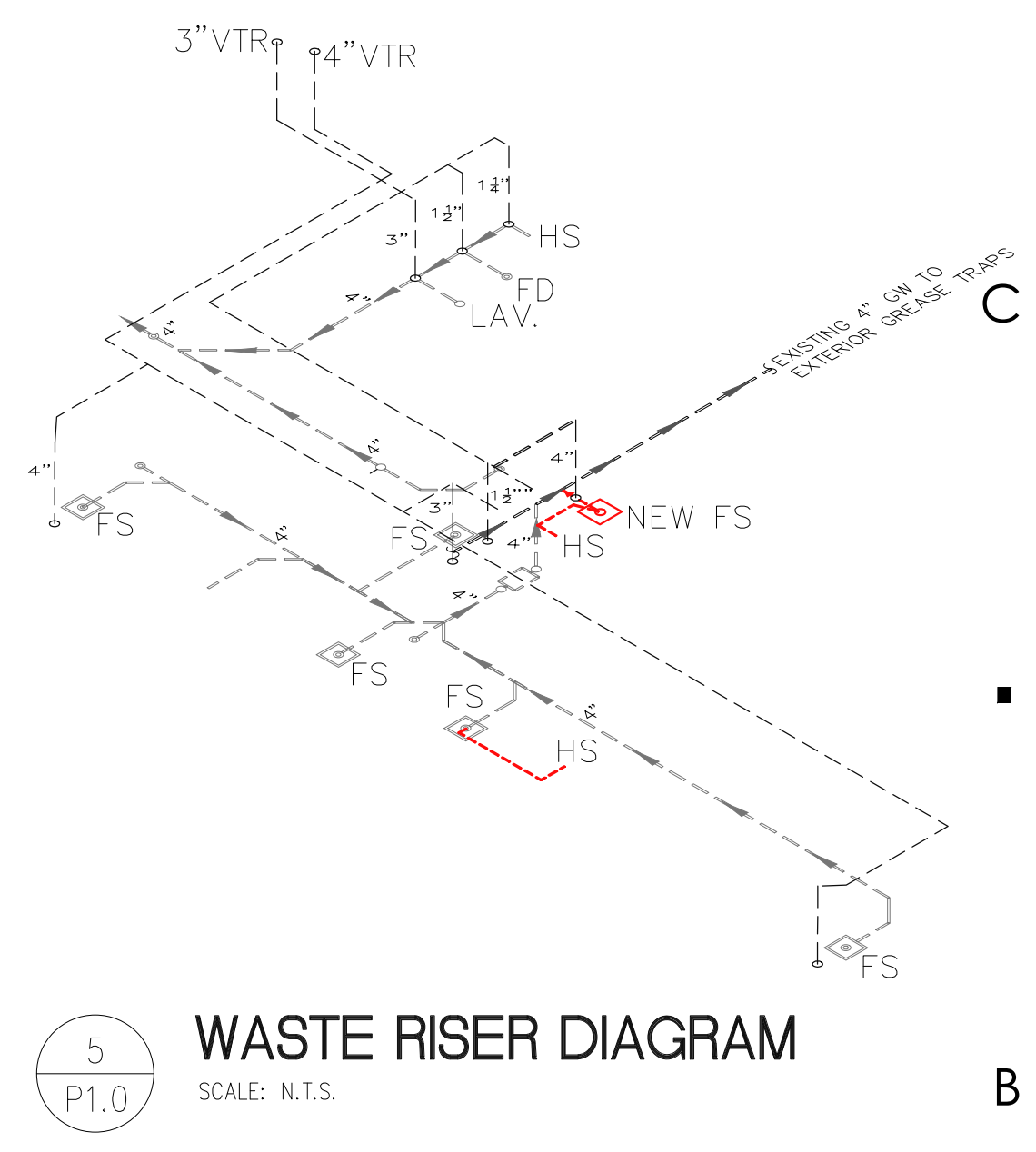
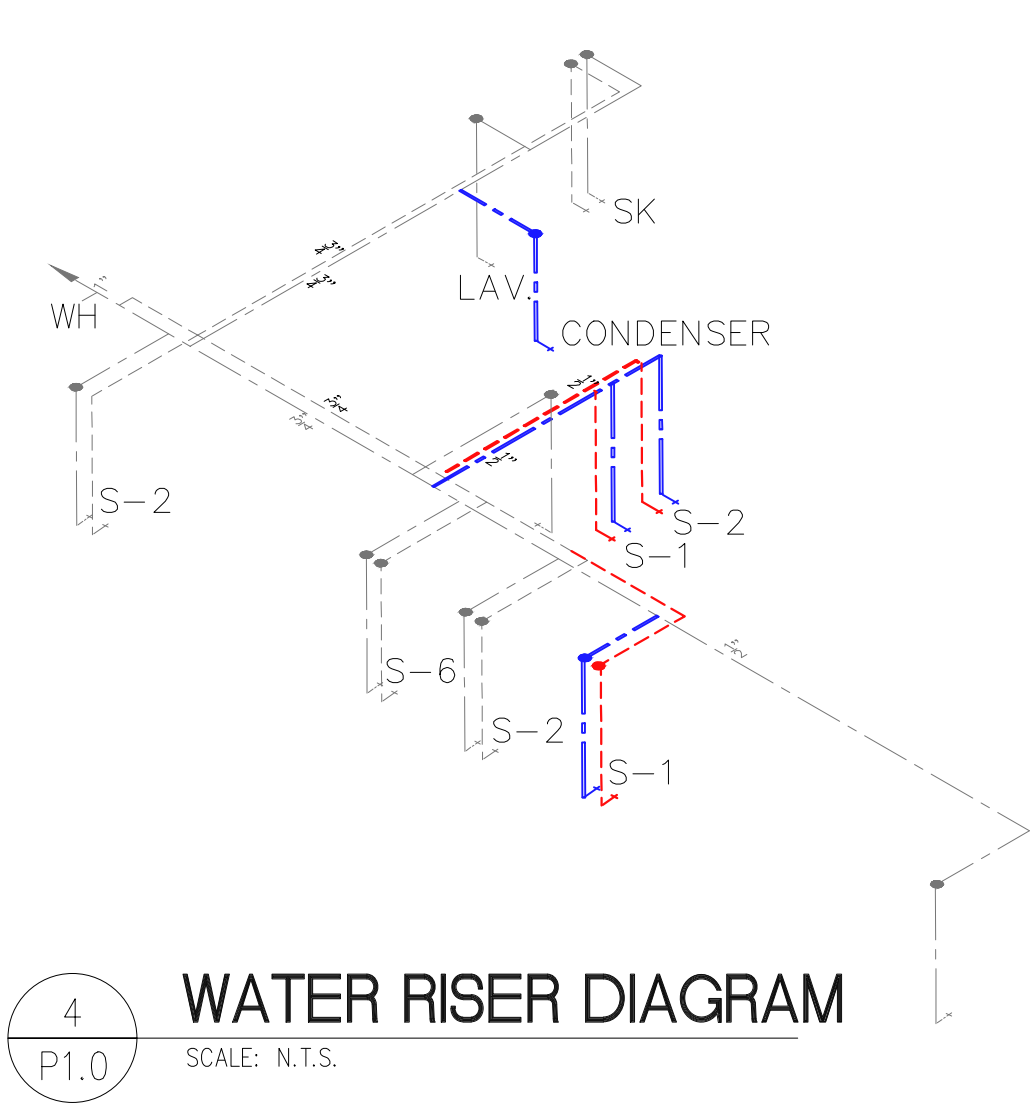
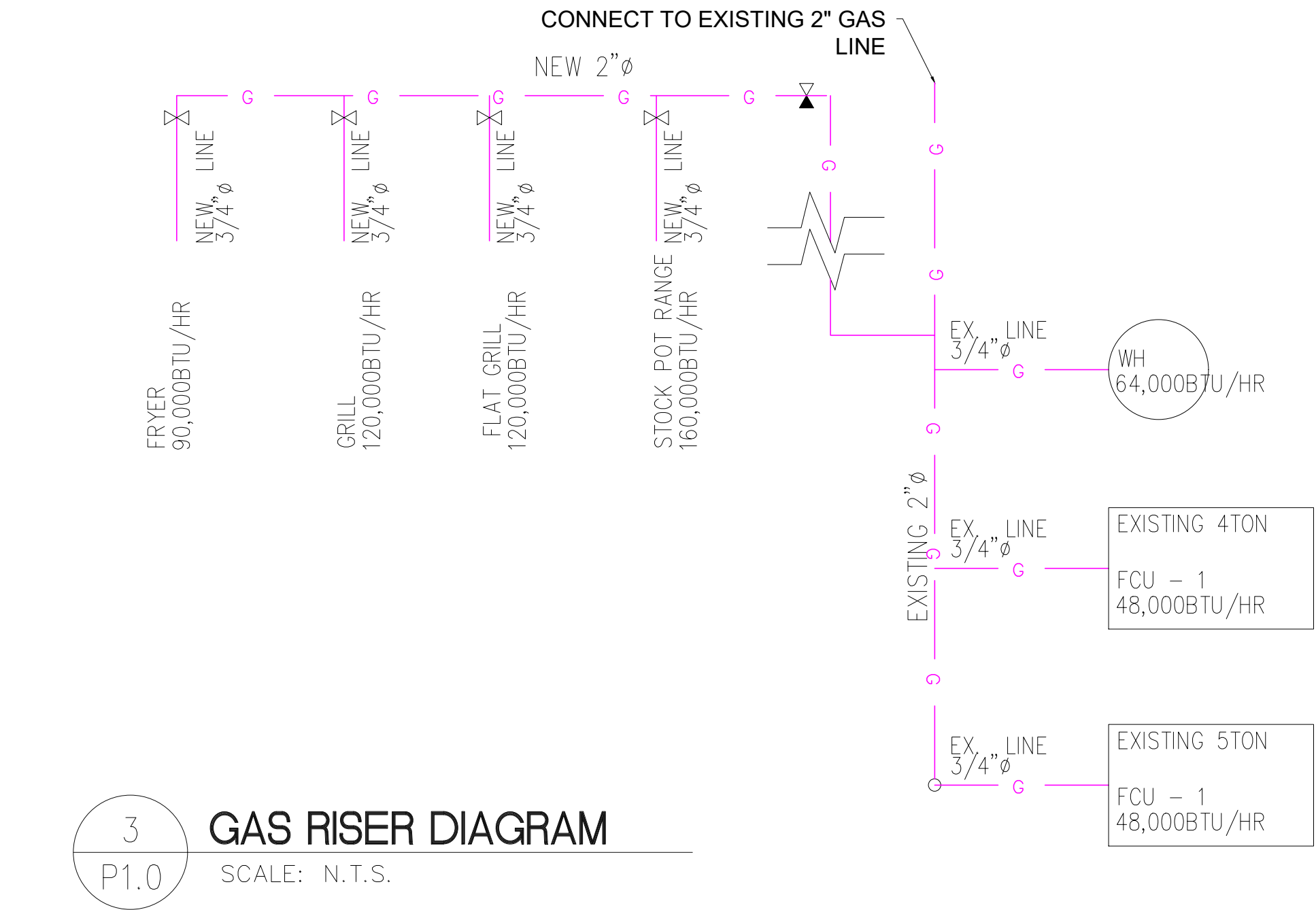
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**GAS LEGENDS**

- NEW GAS SUPPLIER PROVIDE NEW QUICK DISCONNECT HOSE WITH SHUT OFF VALVE PER SUPPLIER/EQUIPMENT
- NEW SHUT OFF VALVE



SINKS SCHEDULE						LEGENDS	
ITEM	EQUIPMENT	MANUFACTURER	MODEL	DIMENSIONS	NOTES	ABBREVIATIONS:	
S-1	HAND SINK	-	-	-	EXISTING	SK	SINK
S-2	2 COMP SINK	-	-	-	EXISTING	MS	MOP SINK
S-3	COMMERCIAL SINK WITH ONE DRAINBOARD	HMRACO	ECSIDL	36-1/2"W x 25-1/2"D x 41"H.	NEW	HS	HAND SINK
S-4	HAND SINK	HMRACO	HS1000	13-1/2" wide x 10" front to back x 5-5/8" deep	NEW	FD	FLOOR DRAIN
S-6	MOP SINK	-	-	-	EXISTING	FS	FLOOR SINK
						HW	HOT WATER
						VTR	VENT TROUGH ROOF
						⊙	EX. HUB DRAIN
						⊙	NEW HUB DRAIN
						⊙	EX. FLOOR DRAIN
						⊙	NEW FLOOR DRAIN
						⊙	NEW FLOOR DRAIN
						⊙	NEW VENT TROUGH ROOF
						⊙	NEW VENT TROUGH ROOF
						⊙	NEW FLOOR CLEAN OUT
						⊙	NEW FLOOR CLEAN OUT
						⊙	NEW FLOOR CLEAN OUT

**NOTES: PLUMBING**

- WORK SHALL BE PERFORMED BY A CONTRACTOR LICENSED TO PERFORM SUCH ACTIVITY WITHIN THE JURISDICTION OF CITY OF ATLANTA.
- CONTRACTOR IS RESPONSIBLE TO LOCATE ALL EXISTING UNDERGROUND UTILITY LINES FOR NEW CONNECTIONS.
- THIS SPACE IS NOW PRESENTLY PROVIDED WITH AN AUTOMATIC WET PIPE SPRINKLER SYSTEM. THE FIRE PROTECTION CONTRACTOR SHALL BE RESPONSIBLE FOR THE MODIFICATION OF THE ORIGINAL DESIGN, PROVIDE NEW LAYOUT WITH DESIGN UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER, AND ALL MATERIALS REQUIRED FOR A COMPLETE INSTALLATION OF THE PROPOSED TENANT FINISH OF THIS SPACE. CONTRACTOR SHALL HAVE APPROVED PLANS FROM CITY OF ATLANTA FIRE MARSHALL BEFORE PERFORMING THE WORK

DATE	11/29/2017
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JOB NO.:	
TITLE	PROPOSED FLOOR PLAN
SHEET NUMBER	P1.0